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Community Planning  
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## **2002 MASTER PLAN UPDATE BOROUGH OF WOODCLIFF LAKE BERGEN COUNTY, NEW JERSEY**

**ADOPTED DECEMBER 9, 2002**

**PREPARED FOR BOROUGH OF WOODCLIFF LAKE PLANNING BOARD  
BA #1026.01**

The original document was appropriately signed and sealed on September 6, 2002 in accordance with Chapter 41 of Title 13 of the State Board of Professional Planners.

Revised December 9, 2002

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<sup>1</sup> Cover photograph: Woodcliff Lake's first train station built by Nicholas B. Ackerman.

## TABLE OF CONTENTS

### SECTION

1.0	INTRODUCTION .....	1
1.1	Community Overview .....	1
1.2	Legal Requirements for Planning .....	2
2.0	PREVIOUS PLANNING EFFORTS .....	6
2.1	1985 Master Plan .....	6
2.2	Master Plan Reexamination Reports .....	6
2.3	Housing Element and Fair Share Housing Plan .....	8

### PART 1: BACKGROUND DATA AND ANALYSIS

3.0	OVERVIEW OF BACKGROUND STUDIES .....	10
3.1	EXISTING LAND USES .....	12
	Residential Land Use .....	13
	Commercial Land Use .....	13
	Office Land Use .....	14
	Reservoir and United Water Property .....	14
	Public Land Use .....	14
	Religious Institutions .....	15
	Open Space and Recreation .....	15
	Vacant Land .....	16
3.2	POPULATION CHARACTERISTICS .....	17
	Historic Trends .....	17
	Age and Sex Characteristics .....	18
	Births and Deaths .....	19
	Household Size .....	20
3.3	HOUSING CHARACTERISTICS .....	21
	Number of Housing Units .....	21
	Housing Age .....	22
	Occupancy Characteristics & Type .....	23
	Additional Housing Data .....	24
3.4	DEVELOPMENT ACTIVITY .....	25
	Residential Development .....	25
	Projection of Woodcliff Lake's Housing Stock .....	26
	Non-Residential Development .....	27
3.5	EMPLOYMENT CHARACTERISTICS .....	28
	Historic Employment Trends .....	28
	Employment Characteristics & Occupation Patterns .....	29
3.6	INCOME CHARACTERISTICS .....	31
3.7	PHYSICAL FEATURES .....	32
	Introduction .....	32
	Topography and Slope .....	32
	Flood Plains and Flood Hazard Area .....	33
	Wetland Areas .....	33
	Soils .....	34
3.8	INFRASTRUCTURE .....	38

	Sanitary Sewerage System.....	38
	Water System.....	38
3.9	HISTORIC SITES.....	38
4.0	COMMUNITY FACILITIES.....	40
4.1	REGIONAL PLANNING FRAMEWORK.....	41
	Introduction.....	41
	Zoning in Adjoining Municipalities .....	41
	County Plan .....	42
	State Development and Redevelopment Plan.....	42

## **PART 2: LAND USE PLAN**

5.0	LAND USE PLAN .....	46
	General Objectives.....	47
	Goals and Policies.....	48
	Land Use Plan Classifications .....	54
	Planning Recommendations .....	60
6.0	SIDEWALK ANALYSIS OF WOODCLIFF AVENUE.....	70

## LIST OF TABLES

TABLE	TITLE	PAGE
1	Rate of Population Growth 1940-2000 .....	17
2	Age Characteristics, 1990 and 2000.....	18
3	Births and Deaths 1988-1998.....	19
4	Average Household Size 1970-2000 .....	20
5	Housing Characteristics, 1980, 1990 and 2000.....	21
6	Year Structure Built, 2000 .....	22
7	Units in Structure for Year-Round Housing Units, 1990 & 2000 .....	23
8	Number of Bedrooms in Housing Unit, 1980 & 1990 .....	24
9	Number of Building & Demolition Permits Issued, 1990-2000 .....	25
10	Number of Residential Lots Created or Approved, 1989-2001 .....	26
11	Non-Residential Development Site Plan Approvals, 1990-2001 .....	27
12	Covered Employment, 1989-1999 .....	28
13	Employed Persons 16 and Over by Industry, 1990 & 2000.....	29
14	Employed Persons 16 and Over by Occupation, 1990 & 2000.....	30
15	Household Income 1989 and 1999.....	31
16	Soil Constraints .....	37
17	Historic Sites .....	39

## LIST OF MAPS

MAP	TITLE
LU	Existing Land Uses
EC	Environmental Constraints
SO	Illustrative Soils
HP	Historic Properties
LUZP	Land Use Plan and Proposed Zoning
SW1	Sidewalk Improvements – Woodcliff Avenue Between Werimus Road and Learning Lane
SW2	Sidewalk Improvements – Woodcliff Avenue Between Learning Lane and Fairview Avenue
SW3	Sidewalk Improvements – Woodcliff Avenue Between Fairview Avenue and Pascack Road

## APPENDIX

Yard Definitions  
 Sheds, Decks and Cabanas; Home Profession; Development Fees; Projections and Encroachments  
 Yard Diagrams  
 Permitted Uses in the B-1, B-2 and B-3 District  
 Building Height  
 Estimated Population Increase

## **1.0 INTRODUCTION**

### **1.1 Community Overview**

The Borough of Woodcliff Lake occupies 3.6 square miles and is located in the northwest portion of Bergen County, approximately 24 miles from New York City. There is bus service and train service to New York. The community is bisected by the Garden State Parkway, a major regional highway connecting southernmost New Jersey to New York State.

As with most suburban communities, Woodcliff Lake's land development accelerated with construction of the railroad. The Hackensack and New York Rail Company finished construction of a 21 mile rail line between Jersey City and Hillsdale in 1869. This construction was accompanied by increased real estate development and business in proximity to the rail line. A leading businessman, named Nicholas B. Ackerman encouraged the extension of the rail line and on May 29, 1871, a rail extension to Nanuet was open and included Pascack (Woodcliff) on the line. The first Woodcliff Lake train station was constructed directly across from Mr. Ackerman's store and mill. The popularity of rail travel continued to increase and by 1928, there were 55 trains operating daily through Pascack Valley.

The borough was incorporated in 1894 as the Borough of Woodcliff in response to the provisions of the Township School Act of 1894 which sought to equalize educational opportunities by confining school districts to geographic community borders. The act permitted boroughs to establish their own school systems and subsequently the Woodcliff Lake School opened on September 9, 1895. It is the oldest continually operating school building in Bergen County.

Settlement in the borough continued as new dwellings were constructed in the 1920's and residential roadways were constructed, creating some of the community's existing neighborhoods. The road known as Broadway was renamed as such in the 1930's and became a major shopping route along a bus line running between the Park Ridge and Westwood.

One of the most significant physical features of Woodcliff Lake's landscape is the Woodcliff Lake

reservoir, located between Broadway and Pascack Road. The reservoir occupies 185 acres and is the source of the community's name. The Woodcliff Lake Reservoir essentially divides Woodcliff Lake into an east and west side, and was constructed in 1903. The Pascack Brook traversed the middle of the property when it was acquired by the Hackensack Water Company (currently United Water Resources). A dam was built and one road, now known as the causeway, was constructed to connect the east and west sides of town at the train station. In Spring 1905, the reservoir was completed and the town name was changed from Pascack to Woodcliff Lake. The reservoir serves as a reference point within the center of the community as well as a regional landmark.

Development of the municipality continued after World War II and the Garden State Parkway construction in 1957 effectively bisected the community. Overlook Drive was constructed to serve the area west of the Parkway and construction of Exit 171, in the 1980's, provided an interchange within the borough.

Until the 1990's, there were two widely known farms in existence in Woodcliff Lake, known as the Van Riper Farm and Tice Farm. The original Van Riper Farm was established in 1791 and was located on the east side of Chestnut Ridge Road, north of Glen Road. The Tice Farm was located on the west side of Chestnut Ridge Road, north of County Road. The Tice farm was established in 1808. For more than 100 years these establishments drew customers from throughout Bergen County for seasonal purchases of farm grown produce, including pumpkins, cider, and vegetables. The properties formerly occupied by these agrarian enterprises have since redeveloped with a variety of land uses including commercial, retail and office projects.

## **1.2 Legal Requirements for Planning**

The Municipal Land Use Law establishes the legal requirements and criteria for the preparation of a master plan, which may be adopted or amended by the planning board at a public hearing. The plan must be reviewed by the planning board at least once every six years. The MLUL requires that a master plan contain the following elements:

- A statement of goals, objectives and policies upon which the proposals for the physical development plan for the community is based;
- A land use element which takes into account the physical features of the land, identifies the existing and proposed location, extent and intensity for development, and states the relationship of the land use plan to the proposed zone plan and zoning ordinance.
- A housing plan and recycling plan. The borough has adopted a recycling plan and a housing plan. The community was granted substantive certification by the Council on Affordable Housing, which expires November 6, 2008.

The adoption of a master plan provides the community with a legal basis to guide development. The recommendations of the master plan form the basis for the adoption of development regulations designed to implement the municipality's land use plan.

The Woodcliff Lake Land Use Plan enumerates a detailed set of goal and policy statements regarding the community's existing and future land use arrangement. While recognizing that the community is essentially fully developed, the plan seeks to protect the developed character of Woodcliff Lake and identify areas requiring modifications in planning and zoning. Additionally, the plan sets forth recommendations for revisions to the borough's land use development ordinances.

The 2002 Master Plan Update is part of the continuing comprehensive planning effort that has been undertaken within the Borough over the last two decades. The Woodcliff Lake Planning Board has adopted a number of master plan reports and documents since the adoption of the borough's 1985 comprehensive master plan. Since 1985, the borough has engaged in a continuing planning process that has been the subject of periodic review and reexamination. A Periodic Reexamination Report was adopted in 1995. Each of these reports and amendments were designed to guide the future development of the community in a manner consistent with sound planning and statutory requirements.

Adopting a new comprehensive Master Plan Update is necessary to ensure that Woodcliff Lake's



planning policies and practices remain current and up-to-date. It is also necessary to ensure that the borough's Master Plan and zoning ordinance are consistent with the applicable provisions of the state's Municipal Land Use Law (MLUL) which mandates that all local zoning regulations be substantially consistent with a regularly revised and updated land use plan element. As presented herein, the 2002 Master Plan Update constitutes the official guide for future growth and development within the borough. It is to be used by the Planning Board, Governing Body, Zoning Board of Adjustment and the citizens of the Woodcliff Lake in making land use planning and policy decisions that will protect the character of the community.

The current land use plan does not radically depart from the land use development goals and objectives set forth in the previous planning studies. It does, however, enumerate a more detailed and definitive set of goals and policy statements regarding the borough's existing and future development. It recognizes that the municipality is essentially developed, with little opportunity for future growth and development. Given the established development pattern of the borough, the plan sets forth a planning approach that is designed to protect and support the established residential character of the community, while identifying those areas warranting an upgraded planning and zoning approach. In addition, the plan contains recommendations for modifications to the borough's zoning ordinance and development regulations where conditions warrant it.

The Master Plan Update is comprised of the following two principal sections:

1. **Background Data and Analysis.** This background data base includes information on Woodcliff Lake's regional location, land use, population, housing, environmental features, utilities, a review of planning in adjoining communities, and an assessment of the State Development and Redevelopment Plan recommendations pertaining to the borough.
2. **Land Use Plan.** This section is comprised of several sub-sections. There is an enumeration of planning goals, objectives, and policy statements, followed by the Land Use Plan which identifies a proposed distribution of land use and intensities-of-use. The specific policy objectives corresponding to each land use category are enumerated. The land use plan also contains a number of specific zoning recommendations that are designed to implement the

plan.

In summary, the 2002 Master Plan Update is a culmination of Woodcliff Lake's efforts to establish a comprehensive plan to guide the future development of the borough. The recommendations contained herein are the result of an assessment of the above noted background data and include specific goals and objectives regarding the future land use development of the borough. The plan is intended to serve as a basis for growth management for at least the next six-year period in accordance with the provisions of the Municipal Land Use Law. The 2002 Master Plan Update should be reviewed in conjunction with the borough's Housing Element and Fair Share Plan, which was adopted by the Planning Board on July 20, 1999. Certification by the New Jersey Council on Affordable Housing (COAH) has been granted.

## **2.0 PREVIOUS PLANNING EFFORTS**

### **2.1 1985 Master Plan**

The Borough of Woodcliff Lake adopted a comprehensive Master Plan on March 25, 1985. The 1985 plan included an analysis of existing land uses, infrastructure, circulation and physical characteristics of Woodcliff Lake. Based on this analysis, a land use plan for the future development of the borough was proposed and adopted, including the location of community facilities and services. The plan also included a population projection, as well as land use policies and programs of the borough.

While many of the underlying assumptions of the original 1985 plan have changed in the last 16 years, and some of the specific land use designations contained in the plan have been modified by subsequent actions of the Planning Board and Governing Body, its basic vision of the borough remains relatively intact. That vision, as carried forward through subsequent updates and amendments, proposes that Woodcliff Lake remain primarily a low density residential community with higher intensity uses limited to the Chestnut Ridge Road and Broadway corridors.

### **2.2 Master Plan Reexamination Reports**

The borough adopted a Periodic Reexamination Report and Land Use Element Update on August 14, 1995. The 1995 report included an existing land use map and a statement of the recommended development intensity for the borough. A recycling plan element was previously adopted in 1989.

The 1995 Reexamination Report reaffirmed the basic framework of the borough's previously adopted land use plan and identified goals and objectives that had been achieved as part of prior planning efforts. At the same time, the report noted areas where the underlying premises and planning framework had changed since the adoption of the original 1985 plan, including changes at the state and regional level. Consequently the 1995 Reexamination Report noted that the land use plan was in need of updating. Among the recommendations, were several relating to the

compatibility of land uses. The reexamination contained the following goals:

1. Preserve and enhance sound residential neighborhoods.
2. Provide for non-residential uses, compatible with a residential community, to broaden the tax base in order to provide for municipal services needed by residents and taxpayers.
3. Provide for adequate buffering of residential areas from non-residential areas.
4. Provide adequate community facilities to serve Woodcliff Lake's residents in terms of schools, parks and playgrounds, fire houses, and other municipal buildings.
5. Provide adequate community services for Woodcliff Lake's residents and business firms in terms of police and fire protection, street maintenance, garbage disposal, recreation programs and health services.
6. Provide for safe and efficient traffic circulation throughout the community.
7. Preserve and enhance the quality of the environment.
8. Encourage good design in terms of street layouts, building construction and proper landscaping.
9. Conduct the borough's planning program within the framework of a regional setting and fully cognizant of the needs and rights of the neighboring municipalities and of Bergen County.
10. Require stormwater management controls for all new development.
11. Promote the conservation of energy through the use of planning practices designed to reduce energy consumption and to provide for maximum utilization of renewable energy resources.

The updated Land Use Plan Element addresses these recommendations, identifies the current land use problems and issues in Woodcliff Lake and establishes new goals and objectives for borough.

### **2.3 Housing Element and Fair Share Plan**

In July 1999, Woodcliff Lake adopted its current Housing Element and Fair Share Plan. The 1999 Housing Element and Fair Share Plan updates and amends the borough's previous court approved housing plan and addresses the borough's low and moderate income housing needs as established by the New Jersey Council on Affordable Housing (COAH). The 1999 Housing Element and Fair Share Plan was prepared in accordance with COAH's current substantive and procedural rules, as well as the statutory requirements of the MLUL. The borough was granted substantive certification on November 6, 2002 by COAH.

Pursuant to COAH regulations, the borough is entitled to a vacant land adjustment that establishes its current affordable housing need or "realistic development potential" (RDP) at 82 units. It is also entitled to credits for affordable units that have been constructed in the borough and transferred as a result of its court approved compliance plan.

A more detailed discussion of the affordable housing sites and other components of the borough's Housing Element and Fair Share Plan are incorporated within the 1999 Housing Element and Fair Share Plan.

**PART 1:**  
**BACKGROUND DATA AND ANALYSIS**

### **3.0 OVERVIEW OF BACKGROUND STUDIES**

The Municipal Land Use Law requires all municipal master plans to include a substantial amount of background information in order to ensure that, as part of the preparatory process, there is a firm understanding of the community's historic growth patterns, influences, etc. The MLUL consequently mandates that municipal plans take into account a community's physical features, land use arrangements, and social and economic development. This background data is presented at the end of this report. The following summarizes some of the more significant facts which are detailed in that section of this document.

- The borough is a fully developed municipality, with over 90% of its land area occupied by buildings and improvements. The only vacant and developable land remaining in the borough consists mostly of small individual lots scattered throughout the community.
- Approximately 95% of the housing units in Woodcliff Lake are single-family detached dwellings. Multi-family development is limited to affordable housing sites. There is one assisted living facility in the borough, as well.
- The current population of the borough is estimated to be 5,745 persons. The pace of population growth in the borough increased in the 1990s, primarily as the result of immigration resulting from development. This reversed the population decline recorded in the 1980s.
- The number of children under the age of five has increased from 315 children or 5.9% of the population in 1990 to 406 children or 7.2% of the borough's population in 2000. The borough's proportionate increase in the number of children under age five, as per the 2000 Census, may have future impacts on the need for recreation and related facilities.
- Persons age 65 and older increased from 590 persons or 11.1 percent of the population in 1990 to 768 persons or 13.4 percent of the population in 2000. The aging population and

increase in seniors is typical of the national trend toward an increase in the aged population.

- The analysis of the community's land use pattern reveals some changes are recommended to accommodate age-restricted housing and provide the opportunity for some additional affordable housing. A new zone is recommended to more closely reflect the developed character of the recently constructed Tice's Corner retail center. An additional property, known as the Hatheway site, is recommended for acquisition to serve municipal open space and recreation needs. The plan also indicates that the Broadway business corridor linkage to the train station and the reservoir causeway warrants further study.
- Woodcliff Lake's Zone Plan is substantially consistent with the zoning designations in surrounding municipalities. Only minor discrepancies exist that do not warrant a change in the borough's zone plan.
- Woodcliff Lake's land use policies are also consistent with the Bergen County Master Plan and the State Development and Redevelopment Plan.



### **3.1 EXISTING LAND USES**

The analysis of a community's present development pattern represents one of the fundamental steps in the preparation and formulation of a land use plan element of a master plan. The analysis of existing land use is designed to identify both the extent of development in the community and the amount and location of vacant land remaining in the municipality. Additionally, land use studies are utilized to study evolving development patterns in the community and the relationship of various land uses. In this manner, potential conflicts between disparate land uses can be identified. An existing land use survey can also identify areas where there is an underutilization or lack of proper utilization of property that may more fully contribute the economic well being of the community. This data, in association with an analysis of available open space and recreation facilities, environmental features and natural resources, community facilities and other factors, including regional land use and economic trends, is used to assess the community's full development potential and its ability or inability to properly accommodate additional growth. This, in turn, serves as the basic premise of the land use plan which sets forth the future distribution and intensities of land uses within the community. This may include areas where new zoning approaches or redevelopment efforts may be appropriate.

To conduct the survey, land use data from the tax office was first recorded on the borough tax maps. The data was then field verified to ensure accuracy, and subsequently recorded in mapped form as the accompanying existing land use map. (See Map LU – Existing Land Use Map.)

A total of 12 separate land use categories were used in this survey. These include three residential categories, four public and quasi-public categories and separate categories for commercial, office and reservoir uses. The final category identifies the remaining vacant land in the borough.

The Borough of Woodcliff Lake is located in the northwest portion of Bergen County, adjacent to five other municipalities. Bordering with the Boroughs of Montvale and Park Ridge to the north, Woodcliff Lake adjoins Upper Saddle River and Saddle River to the west, and the Borough of Hillsdale to the east and south. Woodcliff Lake occupies an area of approximately 2,313 acres, equivalent to 3.61 square miles. In terms of area, it is a moderate sized community as compared to other municipalities in Bergen County.

Woodcliff Lake is essentially a fully developed community. Less than two percent of the borough's total land area is classified as vacant land. A detailed analysis of each category of land use is set forth in the following sections.

### **Residential Land Use**

The character of the Woodcliff Lake is primarily defined by its residential land uses, with over 57 percent of the borough's total acreage devoted to residential development. Nearly all of borough's residential development consists of single family detached dwellings on lots averaging 15,000 square feet or greater. Multi-family residential development constitutes only a small portion of the borough's total housing stock and is concentrated in two affordable housing developments constructed in accordance with the borough's obligation.

Two existing multi-family development sites containing affordable housing are located in the borough. These include the 18 unit Broadway Village affordable housing site located on Broadway and the 22 unit Hill development on Centennial Way. An 85 unit assisted living facility was also recently constructed in the borough.

### **Commercial Land Use**

Commercial land use comprises a small portion of the existing developed areas within Woodcliff Lake. Commercial activity accounts for approximately 2 percent of the borough's land area. These uses include retail and commercial uses. Most commercial uses in Woodcliff Lake, with few

exceptions, are located along Broadway, in the east portion of the borough, or Chestnut Ridge Road, in the west portion of the borough.

### **Office Land Use**

Office development occupies 6.5 percent of the land in the borough. The major developments are located along Chestnut Ridge Road and Tice Boulevard and are home to significant corporate entities such as BMW and Ingersoll Rand. Smaller office development exists along the Broadway corridor, in the eastern portion of town.

There are no industrial land uses in the borough.

### **Reservoir and United Water Property**

Of particular interest is the fact that a large reservoir, known as Woodcliff Lake, occupies approximately 8 percent of the borough's area and is located west of the railroad. This reservoir is located in the central portion of the community and essentially bisects Woodcliff Lake since there is only one major vehicular crossing over the reservoir to connect the east and west sides of town.

In association with the reservoir, various parcels in the community are owned by United Water Resources. These properties are generally concentrated along the Broadway corridor, and around the reservoir. However, there are parcels elsewhere in town owned by the water company.

### **Public Land Use**

This use category includes both municipally owned sites such as the municipal complex on Pascack Road and various borough owned property used in conjunction with recreation, sewers and drainage. Borough owned property occupies slightly more than 1 percent of the community's land area.

### **Religious Institutions**

Woodcliff Lake has five houses of worship. Temple Emanuel is located in the western portion of the borough on Overlook Road, just north of Springhouse Road. Farther east, on the south side of Woodcliff Avenue, is Our Lady Mother of the Church. Christ Lutheran Church is located on the southeast corner of Pascack Road and Church Road. Two other houses of worship are opposite one another at the intersection of Woodcliff Avenue and Pascack Road. These are the Apostolic Christian Church (on the northwest corner) and Jehovah's Witness Assembly Hall (on the southwest corner).

### **Open Space and Recreation**

There are two large concentrations of open space and recreational land in the borough. A large County Park, known as Wood Dale Park, occupies 55 acres in the far eastern portion of the borough. The park is located on both the north and south sides of Prospect Avenue. The northerly portion has a pond, children's playground and tennis courts. The land on the south side of Prospect Avenue is in its natural state and is undeveloped.

Municipally owned recreation and open space is concentrated on the west side of Werimus Road. The Old Mill Complex contains a swimming area and athletic fields and is located opposite the terminus of Woodcliff Avenue.

## **Vacant Land**

The borough contains only a limited amount of undeveloped vacant land. In general, these consist of small individual properties which are distributed throughout the borough. Many of these lots are constrained due to lack of access or environmental features such as flood plains, wetlands and steep slopes. Some of the properties are classified as farm qualified land. Privately owned vacant land and farm qualified land occupies approximately 4.6 percent of the borough's land area.

### 3.2 POPULATION CHARACTERISTICS

#### Historic Trends

Table No. 1 illustrates population growth in Woodcliff Lake from 1940 to 2000. The borough was a relatively sparsely populated rural community until the 1950s when suburban growth impacted the community. In 1940 the borough's population stood at 1,037 persons. By 1950, the population grew modestly to 1,420 residents. From 1960 to 1970, the community experienced its greatest level of development, resulting in a two-fold increase in population to 5,506 residents. Continuing growth brought the population to 5,644 in 1980.

The 1980 Census revealed a slow down in the community's growth pattern in the 1980s as the borough began to mature, there was a population decline to 5,303 residents in 1990. The borough's decline in population in 1990 primarily resulted from limited development, a nation-wide baby bust and a declining household size. This trend has reversed in the 1990's. For 2000, the U.S. Census indicates that the borough's population increased by 442 persons to 5,745 residents.

**TABLE NO. 1**  
**RATE OF POPULATION GROWTH**  
**WOODCLIFF LAKE, NEW JERSEY**  
**1940-2000**

YEAR	POPULATION	CHANGE(NO.)	CHANGE(%)
1940	1,037	--	--
1950	1,420	383	137
1960	2,742	1,322	193
1970	5,506	2,764	200
1980	5,644	138	2.5
1990	5,303	-341	-6.4
2000	5,745	442	8.3

Source: 1940-2000: U.S. Census of Population.

## Age and Sex Characteristics

Data concerning characteristics of the borough's population by age and sex is presented in Table No. 2. The Census data shows an increase in the number of young residents and an increase in those aged 75 years and greater. During the 1990's the borough experienced a significant increase in the proportion of the population under the age of 5, as it increased from 5.9 percent in 1990 to 7.2 percent in 2000. Those aged 5 to 9 also increased from 7.4 percent of the population in 1990 to 9.5 percent of the population in 2000. Those aged 5 to 9 also increased from 7.4 percent of the population in 1990 to 9.5 percent of the population in 2000.

The data indicates a sharp increase in the proportion of residents aged 75 years and older occurred during the 1990's. The proportion in this age cohort went from 4.6 percent of the population to 6.5 percent of the population during the decade from 1990 to 2000.

**TABLE NO. 2  
AGE CHARACTERISTICS  
WOODCLIFF LAKE, NEW JERSEY  
1990 and 2000**

AGE GROUP	1990		2000	
	TOTAL	PERCENT	TOTAL	PERCENT
Under 5	315	5.9	406	7.2
5 - 9	391	7.4	551	9.5
10 - 14	402	7.6	488	8.5
15 - 19	368	6.9	373	6.4
20 - 24	307	5.8	159	2.7
25 - 34	550	10.4	346	6.1
35 - 44	907	17.1	1,057	18.4
45 - 54	869	16.4	976	16.9
55 - 59	305	5.8	365	6.4
60 - 64	299	5.6	256	4.5
65 - 74	347	6.5	402	6.9
75+	243	4.6	366	6.5
<b>Total</b>	<b>5,303</b>	<b>100.0</b>	<b>5,745</b>	<b>100.0</b>
<b>Median</b>	<b>38.8</b>		<b>40.7</b>	

Source: U.S. Census of Housing Detailed Housing Characteristics, STF-3A; 1990 and 2000.

As a result of these trends, the median age of the borough increased from 35 years in 1980 to 38.8 years in 1990. It continued to increase during the 1990's and by 2000, the median age of the community's population was 40.7 years.

### **Births and Deaths**

As shown in Table No. 3, birth and death statistics for the Borough of Woodcliff Lake indicate a natural net population increase between 1988 and 1998 of 235 persons, or approximately 23 persons per year. Consequently, the increase in the borough's population is not entirely due to natural population increases, but is also likely the result of in-migration due to additional residential development within the borough.

**TABLE NO. 3  
NUMBER OF BIRTHS AND DEATHS  
WOODCLIFF LAKE, NEW JERSEY  
1988 – 1998**

<b>YEAR</b>	<b>BIRTHS</b>	<b>DEATHS</b>	<b>NET INCREASE</b>
1988	64	35	29
1989	46	30	16
1990	56	44	12
1991	66	41	25
1992	58	36	22
1993	54	26	28
1994	67	31	36
1995	76	37	39
1996	71	47	24
1997	39	42	(3)
1998	52	45	7
<b>TOTAL</b>	<b>649</b>	<b>414</b>	<b>235</b>

Source: State of New Jersey, Department of Health, New Jersey Health Statistics.

Data for 1999 and beyond is not available.



## Household Size

Mitigating the impact of continued residential development on the borough's population is the concurrent decline in household size exhibited over the last several decades. Woodcliff Lake's household size has generally declined throughout the past twenty year period, as shown in the accompanying table. In 1970, Woodcliff Lake had an average household size of 3.9 persons. By 1990 the average household size had declined to 3.15 persons per household.

It is noted that the change in household size is not unique to Woodcliff Lake. Declines have been registered in most municipalities in Bergen County. Bergen County's total average household size, for example, decreased steadily from 3.39 persons per household in 1950 to 2.64 in 1990.

The borough's trend in household size reflects the changing socio-economic characteristics of the population. It is a function of an aging population, younger households with fewer children, and older households remaining in their single-family dwellings after their children have left to form their own households elsewhere. At the same time, the increasing size of single-family dwellings and number of bedrooms per dwelling in the borough may reverse this trend in the future. However, data from the 2000 Census indicates that the average number of persons per household has decreased further to 3.12 persons per unit.

**TABLE NO. 4  
AVERAGE HOUSEHOLD SIZE  
WOODCLIFF LAKE, NEW JERSEY**

YEAR	POPULATION	NUMBER OF DWELLINGS	HOUSEHOLD SIZE
1970	5,506	1,402	3.9
1980	5,644	1,614	3.43
1990	5,303	1,648	3.15
2000	5,745	1,844	3.12

Source: Compiled by Bergen County Department of Planning & Economic Development

### 3.3 HOUSING CHARACTERISTICS

#### Number of Housing Units

The 1980 U.S. Census recorded a total of 1,646 housing units in the borough, all of which were identified as year-round units. The number of dwellings included 32 vacant units, representing a 1.9 percent vacancy rate. As of 1990, the total number of housing units in the borough had increased by 57 units to 1,703 units, or a 3.5 percent increase. This included 55 vacant units, accounting for a 3.2 percent vacancy rate. This and associated occupancy data is presented in Table No. 5.

**TABLE NO. 5**  
**HOUSING CHARACTERISTICS**  
**WOODCLIFF LAKE, NEW JERSEY**  
**1980 , 1990 and 2000**

<b>CHARACTERISTICS</b>	<b>1980</b>	<b>1990</b>	<b>2000</b>	<b>1990-2000 CHANGE</b>
Total Units	1,646	1,703	1,844	141
Total Year-Round Units	1,646	1,694	1,840	146
Total Seasonal Units	0	9	4	-5
Total Vacant Units	32	55	55	0
Total Occupied Units	1,614	1,648	1,824	176
Owner-Occupied	1,525	1,557	1,735	178
Renter-Occupied	89	91	89	2

Source: U.S. Census of Housing, 1980,1990 and 2000; General Housing Characteristic, STF-3A.

The U.S. Census indicates that by 2000, the borough's housing stock has increased by 141 housing units to a total of 1,844 units. The number of units classified as seasonal units has declined over the last 10 years to 4 units. The number of vacant units has remained stable over the last decade. It is anticipated that the borough's housing stock will increase slightly over the next several years.

## Housing Age

Table No. 6 identifies the relative age of housing in the borough, as reported in the 2000 U.S. Census. As can be seen from this table, the age of the borough's housing stock is relatively young. It is interesting to note that almost all of the housing units in Woodcliff Lake, approximately 88 percent, have been constructed since 1940, with almost two-thirds (64.5 percent) constructed since 1960. Only 652 dwellings were constructed prior to 1960.

The greatest amount of growth in the borough's housing supply occurred in the 1960s, when 610 units were constructed. This accounts for approximately 33 percent of the borough's current housing stock. As the borough reached its development capacity, these rates of development have declined. Only 173 new units were constructed in 1990s, while approximately 8 units have been constructed between 1999 and March 2000. As remaining infill development continues, it is anticipated that the median age of housing in the borough will continue to decline.

**TABLE NO. 6  
YEAR STRUCTURE BUILT  
WOODCLIFF LAKE, NEW JERSEY  
2000**

<b>YEAR CONSTRUCTED</b>	<b>NUMBER</b>	<b>PERCENT</b>
1999 To March 2000	8	0.4
1995 To 1998	133	7.2
1990 To 1994	40	2.2
1980 To 1989	113	6.1
1970 To 1979	286	15.5
1960 To 1969	610	33.1
1940 To 1959	431	23.4
1939 or earlier	221	12.0
<b>Total</b>	<b>1,842</b>	<b>100.0</b>
<b>Median Year</b>	<b>1962</b>	

Source: U.S. Census of Housing, General Housing Characteristic, STF-3A; 2000.

## Occupancy Characteristics and Types

Tables No. 7 and No. 8 provide additional data concerning housing stock in Woodcliff Lake. Analysis of the number of housing units in structures is provided in Table No. 7. This data indicates the vast majority of the municipality's housing stock consists of single-family detached dwellings. In 1990, a total of 1,680 units were single-family detached structures, representing 98.6 percent of the total housing stock. This figure increased to 1,740 units, but comprised only 94.5 percent of the housing stock, in 2000.

Construction of affordable housing units in the mid 1990's introduced attached dwellings to the borough's housing stock and increased the amount of multifamily units significantly. By 2000, the number of attached dwellings totaled 35 units and other multifamily units had increased to 67 dwelling units. It is not anticipated that the number of multi-family dwellings will increase and the borough's housing stock is expected to continue to consist almost entirely of single family detached dwellings in the future.

**TABLE NO. 7  
UNITS IN STRUCTURE FOR YEAR ROUND HOUSING UNITS  
WOODCLIFF LAKE, NEW JERSEY  
1990 & 2000**

UNITS IN STRUCTURE	1990		2000	
	NUMBER	PERCENT	NUMBER	PERCENT
One Unit Detached	1,680	98.6	1,740	94.5
One Unit Attached	0	0	35	1.9
2 to 4 Units	23	1.4	61	3.3
5 to 9	0	0	6	0.3
10 to 49	0	0	0	0
50 or More	0	0	0	0
<b>Total</b>	<b>1,703</b>	<b>100.0</b>	<b>1,842</b>	<b>100.0</b>

Source: U.S. Census of Housing, General Housing Characteristics, STF-3A; 1990 & 2000

Table No. 8 identifies the number of bedrooms per dwelling unit in the community. In 1980, a total of 531 dwellings contained three bedrooms and 664 contained four bedrooms while only 156 units contained two bedrooms. A total of 15 units contained one bedroom. The 1990 data indicates a substantial increase, to 24.7 percent, in homes with five bedrooms. Given the nature of recent development activity in the borough, it is anticipated that this trend will continue and the number of bedrooms per dwelling unit will remain at the large end of the spectrum. This may also have a commensurate impact on the household size in the borough.

**TABLE NO. 8  
NUMBER OF BEDROOMS IN HOUSING UNITS  
WOODCLIFF LAKE, NEW JERSEY  
1980 & 1990**

BEDROOMS	1980		1990	
	Number	Percent	Number	Percent
None	0	0.0	0	0
One	15	0.9	10	0.6
Two	156	9.5	107	6.3
Three	531	32.3	488	28.7
Four	664	40.3	677	39.8
Five or More	280	17.0	421	24.7
<b>TOTAL</b>	<b>1,646</b>	<b>100.0</b>	<b>1,703</b>	<b>100.0</b>
<b>Median (No. of bedrooms)</b>	<b>4</b>		<b>4</b>	

Source: U.S. Census of Housing, Detailed Housing Characteristics, STF-3A; 1980 & 1990 .

The U.S. Census has not published figures for 2000 yet.

### Additional Housing Data

The 1999 Borough of Woodcliff Lake Housing Element/Fair Share Plan contains additional housing data, including information on housing condition, cost and affordability. That information is incorporated by reference and, as such, the Housing Element and Fair Share Plan should be referred to in conjunction with any review of this document. The 2000 census indicates that the median home value of dwellings in Woodcliff Lake is \$451,000 and has increased from \$401,100 in 1990.

Median rents have increased from \$585 in 1990 to \$1,260 in 2000.

### 3.4 DEVELOPMENT ACTIVITY

#### Residential Development

Table No. 9 provides data concerning building permits issued in Woodcliff Lake during the ten years from 1990 to 2000. From 1990 to 2000, a total of 208 building permits were issued, all of which were for single-family residences. During the same time period, 16 demolition permits were issued for a net gain of 192 dwellings or approximately 19 dwellings per year.

**TABLE NO. 9**  
**NUMBER OF BUILDING AND DEMOLITION PERMITS ISSUED**  
**WOODCLIFF LAKE, NEW JERSEY**  
**1990-2000**

YEAR ISSUED	RESIDENTIAL BUILDING PERMITS				DEMOLITION PERMITS	NET GAIN
	SINGLE	TWO TO FOUR	MULTI	TOTAL		
1990	4	0	0	4	1	3
1991	4	0	0	4	2	2
1992	15	0	0	15	1	14
1993	14	0	0	14	1	13
1994	45	0	0	45	2	43
1995	27	0	0	27	0	27
1996	29	0	0	29	2	27
1997	35	0	0	35	0	35
1998	6	0	0	6	0	6
1999	11	0	0	11	3	8
2000	18	0	0	18	4	14
<b>TOTAL</b>	<b>208</b>	<b>0</b>	<b>0</b>	<b>208</b>	<b>16</b>	<b>192</b>

Source: New Jersey Residential Building Permits, New Jersey Department of Labor, 1990-2000.

During this same period, the borough approved subdivisions that resulted in the creation of 107 new single-family residential lots, or approximately 10 lots per year (See Table No.10). Together this data suggests that Woodcliff Lake may experience an increase in housing stock by approximately 15 units annually through 2010.

**TABLE NO. 10**  
**NUMBER OF RESIDENTIAL LOTS CREATED/APPROVED**  
**MAJOR AND MINOR SUBDIVISIONS**  
**WOODCLIFF LAKE, NEW JERSEY**  
**1989-2001**

YEAR ISSUED	RESIDENTIAL LOTS CREATED			
	SINGLE	TWO TO FOUR	MULTI	TOTAL
1989	39	0	0	39
1990	3	0	0	3
1991	0	0	0	0
1992	0	0	0	0
1993	0	0	0	0
1994	25	0	0	25
1995	15	0	0	15
1996	10	0	0	10
1997	7	0	0	7
1998	5	0	0	5
1999	24	0	0	24
2000	18	0	0	18
2001*	9	0	0	90
<b>TOTAL</b>	<b>155</b>	<b>0</b>	<b>0</b>	<b>155</b>

Source: Bergen County Planning Board

\*Through August 2001

### **Projection of Woodcliff Lake's Housing Stock**

Based on recent building trends, it is anticipated that over the next several years, the borough's single-family housing stock may continue to increase at approximately 15 units per year. However, this rate may decline as the last remaining vacant parcels are developed. A summary of approved and pending residential developments is provided in the appendix of this report. Accounting for the potential future development of residentially zoned property, and recent subdivision approvals, it is anticipated that the borough's housing stock may total approximately 2,000 units within the next several years.

## Non-Residential Development

During the period between 1990 and 2001, the borough granted site plan approvals for the addition, alteration and new construction of approximately 351,000 square feet of nonresidential development, primarily along Chestnut Ridge Road and Tice Boulevard. The large square footage approved in 2000 reflects construction of the Tice's Corner retail center on Chestnut Ridge Road.

**TABLE 11**  
**NON-RESIDENTIAL DEVELOPMENT**  
**SITE PLAN APPROVALS IN 1,000's SQUARE FEET**  
**WOODCLIFF LAKE, NEW JERSEY**  
**1990 – 2001**

YEAR	COMMERCIAL	OFFICE	INDUSTRY	TOTAL
1990	0	0	0	0
1991	0	0	0	0
1992	0	0	0	0
1993	0	0	0	0
1994	11	0	0	11
1995	70	0	0	70
1996	0	64	0	64
1997	0	0	0	0
1998	0	0	0	0
1999	0	75	0	75
2000	120	11	0	131
2001	0	0	0	0
<b>TOTAL</b>	<b>201</b>	<b>150</b>	<b>0</b>	<b>351</b>

Source: New Jersey State Department of Community Affairs; Bergen County Planning Board

In summary, the majority of future construction in the borough is likely to consist of single family dwellings. The lack of vacant land in the borough is a significant limitation for future development.



### 3.5 EMPLOYMENT CHARACTERISTICS

#### Historic Employment Trends

Table No. 12 provides employment data from 1989 to 1999. This data indicates that the number of jobs in Woodcliff Lake has fluctuated during the 1990's. The number of jobs peaked in 1993 at 4,595. The amount of jobs declined thereafter until 1997 when the trend reversed. By 1998, the amount of jobs in the borough had increased to 4,411. It declined slightly in 1999 to 4,216.

**TABLE NO. 12  
COVERED EMPLOYMENT  
WOODCLIFF LAKE, NEW JERSEY  
1989-1999**

YEAR	WOODCLIFF LAKE	
	NUMBER OF JOBS	WEEKLY WAGE
1989	3,331	\$ 765
1990	4,338	\$ 737
1991	4,492	\$ 793
1992	3,919	\$ 912
1993	4,595	\$ 932
1994	4,195	\$940
1995	3,969	\$ 1,053
1996	3,963	\$ 1,162
1997	4,116	\$ 1,206
1998	4,411	\$ 1,298
1999	4,216	\$ 1,359

Source: State of New Jersey State Data Center

Municipal annual covered employment and weekly wage data is not available after 1999 from

the State of New Jersey.

### **Employment Characteristics and Occupations Patterns of the Community's Residents**

Table No. 13 and No. 14 describe employment characteristics and occupational patterns of Woodcliff Lake residents. Table No. 13 indicates that more than one quarter (29.3 percent) of all jobs in Woodcliff Lake for 1990 were concentrated in professional and related services. In 2000, this sector of employment increased to 40 percent.

**TABLE 13  
EMPLOYED PERSONS 16 AND OVER BY INDUSTRY  
WOODCLIFF LAKE NEW JERSEY  
1990 & 2000**

INDUSTRY	1990		2000	
	NUMBER	PERCENT	NUMBER	PERCENT
Agriculture, Forestry, Fisheries, Mining	47	1.8	8	0.3
Construction	88	3.3	58	2.2
Manufacturing	344	13.0	390	14.7
Transportation, Warehousing and Utilities Information	168	6.3	177	6.7
Wholesale Trade	254	9.5	214	8.1
Retail Trade	262	9.8	230	8.7
Finance, Insurance, Real Estate	314	11.8	212	8.0
Business and Other Service	236	8.9	98	3.7
Personal, Entertainment, Recreation	124	4.7	130	4.9
Professional and Related Service:	781	29.3	1,063	40.1
Public Administration	43	1.6	73	2.8
<b>TOTAL</b>	<b>2,661</b>	<b>100.0</b>	<b>2,653</b>	<b>100.0</b>

Source: U.S. Census of General Social and Economic Characteristics; 1990 & 2000

Table No. 14 identifies resident employment by occupation for employed persons over the age of sixteen. Information outlined in this table indicates that in 1990, 85.6 percent of the resident employment was concentrated in two categories; managerial/professional specialty and technical/sales/administrative support. The figure for the same two categories increased to 88 percent in 2000.

**TABLE NO. 14**  
**EMPLOYED PERSONS 16 AND OVER BY OCCUPATION**  
**WOODCLIFF LAKE, NEW JERSEY**  
**1990 & 2000**

INDUSTRY	1990		2000	
	NUMBER	PERCENT	NUMBER	PERCENT
Managerial and Professional Specialty:	1,459	54.8	1,526	57.5
Technical, Sales, Administrative Support:	821	30.8	810	30.5
Service; Private Household; Protective Services; Service Occupation	124	4.7	138	5.2
Farming, Forestry, Fishing	28	1.1	0	0
Construction, Extraction and Maintenance Occupations	155	5.8	96	3.6
Production, Transportation and Material Moving Occupations	74	2.8	83	3.1
<b>TOTAL</b>	<b>2,661</b>	<b>100.0</b>	<b>2,653</b>	<b>100.0</b>

Source: U.S. Census of General Social and Economic Characteristics, 1990 & 2000.

### 3.6 INCOME CHARACTERISTICS

Table No. 15 provides data for household income by income category. The median Woodcliff Lake household income for 1989 was \$88,670; by 1999 this number increased to \$123,022, a greater than one-third increase. Comparable data for Bergen County indicates that the median household income was \$49,249 in 1989 and \$55,000 in 1999.

**TABLE NO. 15  
HOUSEHOLD INCOME  
WOODCLIFF LAKE, NEW JERSEY  
1989 & 1999**

INCOME CATEGORY	1989 HOUSEHOLDS		1999 HOUSEHOLDS	
	NUMBER	PERCENT	NUMBER	PERCENT
<\$10,000	67	4.0	19	1.0
\$10,000-\$14,999	21	1.3	36	2.0
\$15,000-\$24,999	71	4.3	90	5.0
\$25,000-\$34,999	101	6.1	91	5.0
\$35,000-\$49,999	110	6.7	133	7.3
\$50,000-\$99,999	558	33.7	375	20.7
\$100,000- \$149,999	367	22.1	371	20.4
\$150,000+	360	21.8	700	38.6
<b>Total</b>	<b>1,655</b>	<b>100.0</b>	<b>1,815</b>	<b>100.0</b>
<b>Median</b>		<b>\$88,670</b>		<b>\$123,022</b>

Source: U.S. Census of Population and Housing, STF-3A; 1990 & 2000.

**Introduction**

An analysis of the borough's physical characteristics is important in determining the developability of the community's remaining vacant undeveloped acreage. Additionally, information on physical features is useful in assessing sites being considered for redevelopment. This data enables a clearer assessment of the community's development potential, and assists in establishing projections for future population growth.

The principal environmental features which are typically assessed within the framework of a master plan include topography, soils, wetlands and flood plain characteristics. Each of these are described below. Given the developed nature of the community, it is not anticipated that the borough's environmental features will dramatically impact its overall development pattern or established character. However, an understanding of the physical features and environmental factors are best reviewed on a site by site basis as development applications are submitted to the borough's local review agencies. The environmental data is provided in Map EC Environmental Constraints Map and Map SO Illustrative Soils Map.

**Topography and Slope**

The Borough of Woodcliff Lake is characterized by a varied topography, including areas of moderate to steep slopes. Elevations range from 96 feet above sea level in the Woodcliff Lake Reservoir basin to a maximum of 400 feet at the southwestern edge of the borough. In general, the borough's topography elevations in the eastern portion range from a 100 feet to 200 feet.

While not impeding the overall development of the borough, slopes must be considered on a site by site basis in analyzing development proposals and subdivision requests. Development in areas where slopes are 15 percent or greater require designs that limit disturbance and prevent soil erosion or excessive stormwater runoff. The borough has a Steep Slope Ordinance which regulates the amount of disturbance on a lot characterized by steep slopes.

## **Flood Plains & Flood Hazard Areas**

A flood hazard area is defined as the flood plain consisting of the floodway and the flood fringe area. The floodway is defined as the channel of a natural stream or river and portions of the flood plain adjoining the channel, which are reasonably required to carry and discharge the floodwater or flood flow of any natural stream or river. There are several floodway and flood hazard areas in Woodcliff Lake. These are concentrated in the areas of the Woodcliff lake Reservoir, the Musquapsink Brook, and Bear Brook.

Flood hazard areas in Woodcliff Lake correspond to the Musquapsink Brook, Pascack Brook, Bear Brook and Woodcliff Lake Reservoir. The Pascack Brook is a tributary of the Hackensack River. The Woodcliff Lake Reservoir is situated in the east central portion of the borough and is divided by a causeway (Woodcliff Avenue) connecting land on both sides of the reservoir. The reservoir occupies the floodway, while the 100 year and 500 year floodplains extend outward from the reservoir.

The Musquapsink Brook traverses the central portion of the borough in a north-south direction. The main channel of the brook is located within the floodway, while the 100 year and 500 year floodplains extend east and west of the brook.

The Bear Brook is located northwest of the Woodcliff Lake Reservoir and extends northward to the municipal boundary. Similar to the Musquapsink Brook, the stream channel is within the floodway and the 100 year and 500 year floodplains extend along both sides of the brook.

As with steep slopes, the location of flood hazard areas must be considered on a site by site basis in analyzing development proposals and subdivision requests.

## **Wetland Areas**

The National Wetlands Inventory, prepared by the United States Department of the Interior, Fish and Wildlife Service, provides an inventory of all wetland areas for Woodcliff Lake as well as other municipalities in the State of New Jersey. The wetlands data was prepared by the federal government

utilizing stereoscopic analysis of high altitude aerial photographs. The wetland delineations were based upon vegetation, visible hydrology and geography in accordance with acknowledged source data pertaining to wetlands classification. This data has been mapped by the New Jersey Department of Environmental Protection and is illustrated in Map EC.

As indicated in the accompanying map, there are scattered wetland areas throughout the borough of Woodcliff Lake. They are generally of the Palustrine ecological system, although there are areas classified as Lacustrine and Riverine. Wetland areas are associated with the flood plains of the various brooks in town, as well as the reservoir. However, other areas of wetlands are located in the vicinity of Wood Dale Park in the eastern portion of the borough.

### **Soils**

The United States department of Agriculture Soil Conservation Service compiles data on soils throughout the nation. A majority of the fieldwork for the soil surveys was completed in 1980 and the soil names and descriptions were approved in 1985.

The Borough of Woodcliff Lake is comprised of twenty-three individual soil types. Each of these soils has different characteristics and limitations which affect the way land is developed. The soil table details each of the soil types existing in Woodcliff Lake and their limitations on development. The limitations are considered slight if soil properties and site features are generally favorable for the indicated use and limitations are minor and easily overcome; moderate if soils properties or site features are not favorable for the indicated use and special planning design, or maintenance is needed to overcome or minimize the limitations; and severe if soil properties or site features are so unfavorable or so difficult to overcome that special design, significant increase in construction costs, and possibly increased maintenance are required. Special feasibility studies may be required where soil limitations are severe. The soils map provides a visual representation of the soil types throughout the borough.

The information shown on the accompanying Soils Map and chart was obtained from the Soil Survey of Bergen County, New Jersey as prepared by the Soils Conservation Service of the United States Department of Agriculture. This is the most recent detailed soil survey available for the borough. All soils within the

borough are identified by a classification symbol. The twenty-three different soil types in the borough can be grouped into ten general soil series. Each of these series are described below.

Carlisle Series – This soil series consists of very deep, very poorly drained soils that formed in organic deposits derived primarily from woody plants. These soils are in low areas with slopes of 0 to 2 percent.

Dunellen Series– The Dunellen series consists of very deep, well drained soils that formed in acid stratified material. They are present on outwash plains and stream terraces. Slopes range from 0 to 25 percent.

Fluvaquents – This series consists of very deep, somewhat poorly drained to very poorly drained soils usually in flood plains and subject to flooding. Slopes range from 0 to 3 percent.

Haledon Series – This series consists of very deep, somewhat poorly drained soils that formed in glacial till. These soils are in long, narrow drainageways or oval depressions on upland till plains and the broader till ridges. Slopes range from 3 to 8 percent.

Hasbrouck Series – This series has very deep, poorly drained soils that formed in acid glacial till deposits capped with 2 to 3 feet of alluvial material. These soils are generally at the lower end of drainage ways or in roughly oval depressions on till plains. Slopes range from 0 to 3 percent.

Otisville Series – The Otisville series consists of very deep, excessively drained soils that formed in glacial outwash. These soils are predominately located on small, low rounded hills on outwash plains east of the Saddle River. Slopes range from 15 to 35 percent.

Preakness Series – This soil series consists of very deep, poorly drained and very poorly drained soils that formed in sand and gravel deposits from glacial outwash capped with finer textured material from local alluvial deposits. These soils are in broad depressions on outwash plains and on flood plains along major streams. Slopes range from 0 to 3 percent.

Riverhead Series– The Riverhead series consists of very deep, well drained soils that formed in glacial outwash deposits of sand, silt and some gravel. Slopes range from 0 to 15 percent.



Weathersfield Series – The Weathersfield series consists of very deep, well drained soils that formed in glacial till deposits dominated by red sandstone and basalt or diabase. Slopes range from 3 to 50 percent.

Udorthents – This soil series consists of deep and very deep, well drained and moderately well drained soils that formed in material transported by human activity or in the original soils. Slopes are usually 0 to 3 percent, but in some areas can be gently sloping to very steep.

A summary of soil constraints is provided in Table No. 16.

**TABLE NO. 16**  
**SOIL CONSTRAINTS-WOODCLIFF LAKE, NEW JERSEY**

Soil Symbol	Soil Series	% Slope	Development Constraints		
			Dwellings with Basement	Lawns and Landscaping	Erosion Hazard
Ca	Carlisle Muck	Not Applicable	Severe; flooding, ponding	Severe; flooding, ponding	Slight
DVA	Dunellen-Urban Complex,	Nearly level	Variable	Variable	Variable
DVB	Dunellen-Urban Complex,	Undulating	Variable	Variable	Variable
DVC	Dunellen-Urban Complex,	Rolling	Moderate; slope	Moderate; slope	Moderate
HaB	Haledon gravelly loam	3-8	Severe, wetness	Moderate to slow	Severe; wetness
HUB	Haledon urban land complex	Undulating	Severe; wetness	Severe; wetness	Slight
HvA	Hasbrouck loam	0-3	Severe; wetness	Severe; wetness	Slight
OtD	Otisville gravelly loamy sand	15-25	Severe	Severe	Slight
OtE	Otisville gravelly loamy sand	25-35	Severe	Severe	Slight
Pr	Preakness silt loam	Not Applicable	Severe; flooding, wetness	Severe; flooding, wetness	Slight
RaA	Riverhead sandy loam	0-3	Slight	Slight	Slight
RaB	Riverhead sandy loam	3-8	Slight	Slight	Slight
RaC	Riverhead sandy loam	8-15	Moderate; slope	Moderate; slope	Moderate
WeB	Weathersfield gravelly loam	3-8	Severe; slope	Severe; slope	Slight to moderate
WeC	Weathersfield gravelly loam	8-15	Moderate; wetness, slope	Moderate; wetness, slope	Moderate
WeD	Weathersfield gravelly loam	15-25	Severe; slope	Severe; slope	Severe
WeE	Weathersfield gravelly loam	25-35	Severe; slope	Severe; slope	Severe
WUB	Weathersfield Urban land complex	Undulating	Moderate; wetness	Moderate; small stones	Moderate
WUC	Weathersfield Urban land complex	Gently rolling	Moderate wetness; slope	Moderate; small stones; slope	Moderate
WUD	Weathersfield Urban land complex, hilly	Hilly	Severe; slope	Severe; slope	Severe
Ua	Udorthents, loamy	Areas of this unit have been filled or smoothed or otherwise extensively disturbed to a depth of 3 feet or more. Because of the variability of the soil material, onsite investigation is needed to determine the suitability of individual areas for any use.  Variable constraints			
Ue	Udorthents, wet substratum				
Uf	Udorthents, wet substratum, urban land complex				
UR	Urban land	This unit consists of areas that have been cut and filled or areas in which more than 85 percent of the surface is covered by paved surfaces or buildings and other structures.			

Source: Soil Survey of Bergen County; USDA Soil Conservation Service ; March 1995

### **3.8 INFRASTRUCTURE**

#### **Sanitary Sewerage System**

Woodcliff Lake has sanitary sewer service. Sewage from the borough is transported to the treatment facilities of the Northwest Bergen Utilities Authority through a collection system. The borough should review its interconnections and agreements with other municipalities and plan the upgrading of Woodcliff Lake's existing pump stations, wherever possible. The municipality should also complete an assessment of current sewer capacity so that future improvements are identified and prioritized based on the most critical areas. Efforts should be made to minimize infiltration and inflow in accordance with the Bergen County Utilities Authority recommendations.

#### **Water System**

Potable water is provided primarily by the Park Ridge Utility Company. There is a well system that serves both Woodcliff Lake and Park Ridge. It is likely that the number of wells in Woodcliff Lake will need to be increased, and sites selected and acquired to house the wells, based on future water demand.

### **3.9 HISTORIC SITES**

There are historically significant buildings in Woodcliff Lake which are listed on the National Register of Historic Places. The 1966 National Historic Preservation Act established the national Register of Historic Places to include sites of historical, archeological, cultural, scenic or architectural interest. The Woodcliff Lake properties designated on the National Register are generally private residences with architectural significance from the period 1750-1799. The following table summarizes their locations, and periods of significance.

**TABLE NO. 17  
HISTORIC SITES  
WOODCLIFF LAKE, NEW JERSEY**

<b>Name</b>	<b>Address</b>	<b>Date Listed</b>	<b>Area of Significance</b>	<b>Period of Significance</b>
Cadmus House	264 Glen Road	1984	Architecture	1750-1799; 1800-1824
Crim-Tice House <sup>(1)</sup>	16 County Road	1983	Architecture	1750-1799
Westervelt-Lydecker House	Werimus and Old Mill Roads	1983	Architecture	1750-1799
Wortendycke-Frederick House	168 Pascack Road	1983	Architecture	1800-1824
Wortendycke-Jacob House	445 Chestnut Ridge Road	1983	Architecture	1750-1799
Peter P. Post House	259 Pascack Road	1983	Architecture	1750-1799

<sup>(1)</sup> Demolished.

Given the current use of these sites, and the surrounding land uses, it is unlikely that there will be significant future impacts on their continued historic designation. However, if at some future date it appears likely that land use changes may impact these sites, the borough may want to consider preservation through a local historic preservation ordinance. Consideration may also be given, at that time, to preparing a full historic preservation plan element including an analysis of land use impacts on the preservation of these historic sites. The existing sites are identified on Map HP – Historic Properties Map

#### **4.0 COMMUNITY FACILITIES**

Since the last master plan reexamination, there have been additions to the borough's community facilities resources. They are described below:

Senior Center/Community Center. In conjunction with development of the Tice's Corner retail center on Chestnut Ridge Road, an existing structure was retained and renovated to serve as Woodcliff Lake's Community Center. A garden area in the rear yard of the site is currently being designed. The community center occupies an 18,000 sf parcel and is identified as Block 301 Lot 6.

Driscoll Property. The Borough of Woodcliff Lake acquired an existing dwelling on the southwest corner of Werimus Road and Old Mill Road for community use. The 2.9 acre parcel is occupied by an historic dwelling and is identified as Block 1401 Lot 2 on municipal tax records.

Municipal Building. The existing municipal building recently underwent renovation to create barrier free access and a modest expansion.

Firehouse. A new firehouse was recently constructed just south of the existing municipal building.

Department of Public Works. Plans are underway for an addition and reconfiguration of the existing DPW facility at the Old Mill area.

## **4.1 REGIONAL PLANNING FRAMEWORK**

### **Introduction**

The Municipal Land Use Law requires municipalities to incorporate within their master plans a specific policy statement indicating the relationship of the proposed development of the municipality as set forth in the master plan to the master plans of contiguous municipalities and the State Development and Redevelopment Plan.

### **Zoning in Adjoining Municipalities**

The Borough of Woodcliff Lake is bordered by five other Bergen County municipalities. The northern portion of the borough adjoins the boroughs of Montvale and Park Ride. The south and east sides of the community is bounded by the Borough of Hillsdale. To the west is Saddle River and Upper Saddle River

A review of the existing zone plans of these municipalities concludes that Woodcliff Lake's existing zone plan is substantially consistent with the zone plans of these adjacent municipalities. The borough's single family residential zones abut all adjoining communities except for Montvale and Saddle River. The borough of Montvale adjoins the Chestnut Ridge Road business corridor, while Saddle River adjoins the borough's B-2 District.

The commercial and office development along Chestnut Ridge Road in Woodcliff Lake adjoins similar land uses to the north in Montvale. Property in Saddle River, at the southwest intersection of County Road is to be developed with townhouses. The higher density housing is compatible with the development in this portion of Woodcliff Lake. However, proper development of the site is essential to avoid adverse traffic impacts in Woodcliff Lake.

## **County Plan**

The latest Bergen County Master Plan was adopted in 1973. In June 2000, the County adopted an Open Space and Recreation Plan. The plan identifies Wood Dale Park as an existing county park. No sites are designated within the borough for acquisition to serve county recreation needs.

## **State Development and Redevelopment Plan**

The New Jersey State Planning Commission adopted the first State Development and Redevelopment Plan (SDRP) on June 12, 1992. The State Planning Commission adopted a new SDRP on March 1, 2001. The SDRP's main objective is to guide future development and redevelopment within New Jersey to ensure the most efficient use of the state's existing infrastructure. Additional goals and objectives promote development that is designed to protect the state's environment and natural resources, while contributing to the fiscal and economic well being of the state and its communities. To this end the SDRP promotes development within "centers" or compact forms of development, and establishes four different types of "Planning Areas" that are regional in scale.

Generally, the SDRP attempts to curb development in rural areas and in those parts of New Jersey where development has only recently begun, encourages new development along transportation corridors, in older cities and in suburbs that have the necessary infrastructure to accommodate it, and concentrates development in rural areas around selected centers. Planning and zoning decisions remain the province of the municipality. However, the State is expected to use the SDRP as a guide in determining the distribution of funds for infrastructure improvements and within that framework its recommendations will be implemented as a growth management tool.

The borough is located in the Metropolitan Planning Area (PA-1). The Metropolitan Planning Area (PA-1) encompasses both large urban centers and developed suburban areas. These areas are generally fully developed with significant investment in existing infrastructure systems. There is little vacant land available for development and, as such, much of the development activity is infill

development or redevelopment. The SDRP states that public and private investment in PA-1 should be the "principle priority" of state, regional and local planning agencies, with the intent being to direct development and redevelopment into these portions of the State. Within this framework, the recommended policy objectives for PA-1 are summarized to include the following:

- Land Use: Guide new development and redevelopment in PA-1 in a manner which ensures an efficient use of remaining vacant parcels and existing infrastructure.
- Housing: Preserve the existing housing stock through a program of maintenance and rehabilitation. Provide a variety of housing choices through new development and redevelopment.
- Economic Development: Promote economic development by encouraging redevelopment, infill development, public-private partnerships, and infrastructure improvements.
- Transportation: Encourage the use of public transit and alternative modes of transportation.
- Natural Resource Conservation: Reclaim environmentally damaged sites and mitigate impacts on remaining environmental and natural resources, including wildlife habitats. Special emphasis should be on air quality, preservation of historic sites, the provision of open space and recreation.
- Recreation: Maintain existing parks and open space and expand the system through redevelopment and additional land dedications.
- Historic Preservation: Integrate and reconcile historic preservation with new development and redevelopment efforts.
- Public Facilities and Open Space: Complete, repair or replace existing infrastructure systems to enable future development and redevelopment.



- Intergovernmental Coordination: Provide for regionalization and intergovernmental coordination of land use and development policies.

The borough's master plan is consistent with the statewide goals and objectives of the SDRP and the policy objectives of the various planning areas.

**PART 2:**  
**LAND USE PLAN**

## **5.0 LAND USE PLAN ELEMENT**

The Borough of Woodcliff Lake Land Use Plan and Land Use Plan Map describes and delineates the proposed location, extent and intensity of development of land to be used in the future for various types of residential, commercial and office uses.

The Land Use Plan consists of two sections. The first section sets forth a series of general planning objectives guiding Woodcliff Lake's growth and development along with borough-specific planning goals and policy statements. These objectives, goals and policy statements form the basis for the land use recommendations, which comprise the second part of this section of the document. This satisfies the MLUL requirement that all municipal master plans set forth a statement of goals, principles, assumptions, policies and standards upon which the master plan recommendations are based.

The second part of the Land Use Plan describes the individual land use categories delineated in the Land Use Plan Map. The land use categories enumerate the type and intensity of residential and non-residential land uses that are recommended for the borough. The purposes and intent of each land use category are described in relation to the overall goals and objectives of the plan.

The Land Use Plan is intended to guide future development in Woodcliff Lake for the next six year period in accordance with the applicable provisions of the MLUL, in a manner that protects the public health, safety and general welfare of the borough. The Land Use Plan is also designed to serve as the foundation for revisions to the borough's zoning and land use ordinances.

The land use recommendations included herein are intended to support and reaffirm the established development pattern that characterizes most of the borough, and, in particular, its residential neighborhoods. In general, the plan does not substantially alter the municipality's previous land use plan as depicted in prior master plan reports, although some modifications are suggested. It is recommended that a new Retail Center (RC) zone be created to acknowledge the Tice's Corner retail shopping center development on Chestnut Ridge Road. The scale and character of this development

is unique and regulations should be established to preserve its upscale quality. An age restricted multifamily housing overlay is proposed for a site on Chestnut Ridge Road to provide a housing option which currently does not exist in the borough. An additional modification is the recommendation for an affordable housing overlay for a site along the Broadway business corridor in conjunction with the borough's housing plan

### **General Objectives**

1. To encourage borough actions to guide the appropriate use, development or redevelopment of all lands in Woodcliff Lake which will promote the public health, safety, morals and general welfare.
2. To secure from fire, flood, panic and other natural and man made disasters.
3. To provide adequate light, air and open space.
4. To ensure development within the borough does not conflict with the development and general welfare of neighboring municipalities, Bergen County and the state as a whole.
5. To promote the establishment of appropriate densities and concentrations that will contribute to the well being of persons, neighborhoods, communities and regions and preservation of the environment.
6. To encourage the appropriate and efficient expenditure of public funds by the coordination of public development with land use policies.
7. To provide sufficient space in appropriate locations for a variety of uses and open space, both public and private, in a manner compatible with the character of the borough and the environment.
8. To encourage the location and design of transportation routes which will promote the free flow of traffic while discouraging the location of such facilities and routes which would result in congestion, blight or unsafe conditions.

9. To promote a desirable visual environment through creative development techniques and good civic design and arrangements.

10. To promote the conservation of historic sites and districts, open space, energy resources and valuable natural resources, and to prevent urban sprawl and degradation of the environment through improper use of land.

### **Goals and Policy Statements**

#### **Goal 1**

To reaffirm and enhance the existing residential character of the municipality which consists primarily of detached single family residential development. The intent of the plan is to preserve and protect the existing residential densities by restricting incompatible land uses from established residential areas.

Policy Statement: The borough's land use plan seeks to protect and reinforce the developed single family residential character of Woodcliff Lake. Residential densities are limited to those prescribed by the plan.

#### **Goal 2**

To limit multi-family development to only those sites serving as part of the borough's housing plan.

Policy Statement: The borough is developed primarily with single family residential development. Consequently, the policy is to acknowledge and reinforce the pattern. The borough has addressed its affordable housing obligation and has been granted substantive certification from COAH regarding the housing plan.

#### **Goal 3**

To ensure that development within the borough preserves the natural features of the land to the greatest extent possible.

Policy Statement: All new development in Woodcliff Lake should be sensitive to the land's natural physical characteristics. The plan supports appropriate regulations to protect environmentally sensitive areas, such as steep slopes, tree preservation and soil movement. The borough's regulations on development in areas with slopes of 15 percent and greater preserves existing vegetation and the regulations should be adhered to for all development.

#### Goal 4

To preserve mature vegetation and wooded areas in Woodcliff Lake, which is an integral part of the aesthetic character of the community.

Policy Statement: The wooded areas of Woodcliff Lake contribute to the desirability of the community. The planning board recommends that the governing body adopt a tree preservation ordinance that encourages the retention of natural wooded areas.

#### Goal 5

To encourage uniform landscaping in new subdivisions where the rear yard of a lot has frontage on an existing roadway.

Policy Statement: Recent subdivisions in Woodcliff Lake have involved the creation of new residential lots with the rear yard of the house exposed to an existing roadway. These lot configurations have raised issues of the aesthetics associated with back yard appearances along the main roadway since they may contain an uncoordinated array of planting or fencing. The planning board's policy has been to require the developers of subdivisions with dual frontage to provide uniform landscaping, including berms, along the rear frontage of the parcels to enhance the view of the subdivision from the existing roadway. This policy was implemented most recently for subdivisions on Winthrop Road and Bliss Court. The planning board reaffirms this policy and will continue to encourage a comprehensive and unified landscape program for residential subdivisions in the borough. The planning board encourages new dwellings to face existing roadways (not new roadways) whenever possible. Additionally, attention should also be given to enhancing the appearance of the rear dwelling facade, in cases where it faces an existing roadway. The planning

board intends to evaluate methods of prohibiting the creation of through lots with dual roadway frontage at the front and rear of the dwelling. Potential ideas to be evaluated include increasing the rear yard setback by 50 percent where the new lot has a dwelling with the rear of the house facing an existing street.

#### Goal 6

To encourage improvements to the Broadway business district and strengthen its linkage to the Woodcliff Lake train station.

Policy Statement: The borough seeks to enhance and upgrade the appearance of the Broadway business district and reaffirm its linkage with the Woodcliff Lake train station. Proposed improvements for sites in the corridor should be reviewed in a coordinated manner and incorporate a comprehensive planning approach regarding site access, circulation, parking and building design. Potential strategies to be utilized by the borough could include the following methods: (1) enhanced design standards for development or redevelopment in the Broadway business corridor or; (2) implementation of overlay and zoning incentives to encourage private redevelopment efforts. Design standards should include such features as architectural design and building massing, parking lot layout, on-site circulation, ingress and egress, building materials, signage, decorative lighting and landscaping. These features could extend to include the train station and adjoining office district to create physical and visual linkage between the areas.

#### Goal 7

To improve the appearance of the causeway across the Woodcliff Lake reservoir and acknowledge its unique feature as the east-west link to public rail transportation and the Broadway business corridor.

Policy Statement: The causeway (Woodcliff Avenue) is the only east-west roadway connection located wholly within the Borough of Woodcliff Lake. Although some beautification efforts have been successfully implemented (such as planters, street trees and lighting), and others are planned, there is more potential to enhance this area for the public. There are circulation and safety issues associated with the causeway since the easterly terminus of Woodcliff Avenue bisects the parking

area for the New Jersey Transit rail station, traverses the railroad right of way and intersects Broadway at a substandard offset opposite Highview Avenue. The borough will endeavor to investigate planning solutions to improve the existing conditions in this area. To advance this policy, the borough intends to pursue available governmental programs, funding and grants to address the aesthetic, land use and circulation issues associated with this vital area.

#### Goal 8

To encourage improvements to New Jersey Transit's Woodcliff Lake train station.

Policy Statement: The existing train station parking area is bisected by Woodcliff Avenue. The existing parking lot layout and design could be improved. The amount of parking for commuters in the lots should be evaluated to see if there is the possibility to increase the number of spaces through revised design. Consideration should be given to utilizing the topographic changes existing north of the train station to possibly allow a dual level parking arrangement to increase parking capacity. It is anticipated that ridership and the demand for commuter parking by Woodcliff Lake residents may increase in the future as a result of ongoing New Jersey Transit capacity improvements. As part of the continuing planning process, the borough intends to pursue governmental programs and seek available funding to improve the existing conditions in this area.

#### Goal 9

To evaluate whether there are appropriate sites for age restricted housing in the borough .

Policy Statement: Based on the increase in the senior population, the borough should evaluate whether there are sites suitable for development or redevelopment with age restricted housing in Woodcliff Lake. One appropriate site is the property associated with The Rink, on Chestnut Ridge Road. The Rink property is located in both Montvale and Woodcliff Lake. Since this type of housing does not currently exist in the borough, any future development should serve as an example of fine architecture and enhanced site design amenities complementing the existing high standards of residential development within Woodcliff Lake.



#### Goal 10

To continue the process for recreation planning in the borough and develop an action plan to prioritize the recreation and open space needs of Woodcliff Lake's residents. The development of bike path linkages is encouraged by the planning board.

Policy Statement: The borough has an active recreation program and utilizes existing recreation areas to the maximum. However, it is anticipated that the recreation needs of residents will continue to increase and planning is underway to identify potential sites within Woodcliff Lake for acquisition as open space.

#### Goal 11

To encourage the preservation of the Woodcliff Lake reservoir as a desirable physical and visual amenity for borough residents.

Policy Statement: The reservoir occupies a significant area and its location near the New Jersey Transit rail station and along the causeway affords it visual prominence. There are many existing residences in the borough with views of this water body, but most importantly, it is a component of the water supply system for many Bergen County residents. The borough recognizes the need to preserve the environmental quality of the reservoir, and its surrounding lands. Borough officials will continue to work with the appropriate agencies to preserve the integrity of the area.

#### Goal 12

To update the borough's land use ordinances so that they are consistent and current. They should strive to maintain the character of the community and protect the health, safety and welfare of the borough's residents.

Policy Statement: The borough's zoning ordinance has been amended over the years to address land use issues. This has resulted in separate amendments which supplement the existing zoning code. For example, the steep slopes ordinance and regulations for fences and signs are separate

amendments. The borough will evaluate the propriety of undergoing recodification of its ordinances to combine these different amendments into one unified zoning code. At the time of comprehensive zoning review, other issues can be reviewed and evaluated, such as height regulations, regulations to ensure that the size and location of new residences complements an existing neighborhood, parking standards and the inclusion of diagrams to supplement definitions within the code.

#### Goal 13

To adequately address stormwater runoff impacts from development.

Policy Statement: Portions of the borough experienced flooding and damage in 1999 as a result of Hurricane Floyd. Stormwater management is a key concern as more development occurs within the borough. In order to address these issues, the community should develop a stormwater management plan and adopt a stormwater management ordinance consistent with NJDEP requirements.

#### Goal 14

To encourage a thorough roadway design in new residential developments to ascertain the most appropriate design given the unique features of sites within the community.

Policy Statement: The remaining sites for development and redevelopment within the community are scattered and each have unique characteristics since, for the most part, they are surrounded by existing development and roadway networks. Unique features of the site should be sufficiently reviewed during the site plan and subdivision approval stages to determine safety factors. In some locations, it may be appropriate to encourage roadway connections to the existing network, while in others it may be preferable to encourage cul de sac design. The planning board will endeavor to evaluate each site individually and ascertain the most appropriate roadway design for the community.

#### Goal 15

To encourage the construction of sidewalks along appropriate roads within the Borough of Woodcliff Lake where a compelling safety issue exists, and examine those roads where a reduction in speed limits could improve safety for pedestrians.

Policy Statement: Recent statistics indicate a rise in pedestrian injuries and fatalities within Bergen County. This pattern is related to increased development and vehicular trips throughout the county. In order to promote safety for pedestrians within Woodcliff Lake, it is the policy of the planning board to require sidewalks for developments along county roads. The borough is considering a municipal program to install sidewalks on the northern side of Woodcliff Avenue, between Werimus Road and the reservoir. Woodcliff Avenue is a critical location for sidewalks due to its direct linkage with the borough's schools. The borough may evaluate other locations which may be appropriate for the installation of sidewalks.

#### Goal 16

To promote the protection of water quality and address water capacity issues.

Policy Statement: Periodic droughts in New Jersey have brought to the forefront issues pertaining to water quality and water capacity, particularly for drinking water. The borough currently participates with the municipality of Park Ridge regarding the drinking water supply for the vast majority of residents in Woodcliff Lake. The borough recognizes the need for two additional well sites and will continue to evaluate methods of meeting increased demand for water supply in the community.

#### Goal 17

To support the overall philosophy of the State Development and Redevelopment Plan (SDRP) to provide growth management on a statewide basis while retaining the principles of home rule.

Policy Statement: The general intent of the SDRP is to manage growth within the framework of available infrastructure capabilities. The SDRP's planning area designation for Woodcliff Lake represents a reasonable approach to growth management.

### **Land Use Plan Classifications**

The borough plan is based on twenty-three (23) land use categories for development. They do not substantially alter the community's previous land use plan, as depicted in prior master plan reports,

although some modifications are suggested.

1. Low Density Residential (R-30). The low density residential land use category encompasses a significant amount of land located west of the Garden State Parkway. The land use category corresponds to a density of 1.45 dwelling units per acre. The minimum lot area for building lots in this category is 30,000 sf. The land use category is primarily a single residential classification but permits municipal governmental uses such as parks, playgrounds and municipal services.

2. Low/Medium Density Residential (R-22.5). This residential land use category encompasses virtually all land in the central portion of the borough bounded by the Garden State Parkway to the west, the Woodcliff Lake Reservoir to the east, the municipal boundary of Park Ridge to the north and the municipal boundary of Hillsdale to the south. This area is characterized by single family residential development on minimally 22,500 sf lots and the purpose of the category is to acknowledge the existing developed land use pattern. The low/medium density category defines a housing density of 1.9 dwelling units per acre.

3. Medium Density Residential (R-15). This land use category is the prevalent land use category for property in the eastern portion of the community. Generally, it encompasses almost all land east of Broadway to the municipal boundaries of Hillsdale and Park Ridge. The residential density associated with this category is 2.9 dwelling units per acre.

4. Modified Medium Density Residential (R-15 II). This land use category was developed in conjunction with a Developer's Contribution Agreement as part of the borough's affordable housing litigation. The category encompasses land on the southerly side of Woodmont Drive, developed as single family residences along Taryn Court. The minimum lot area for single family dwellings in this area is 15,000 sf which represents a residential density of 2.9 dwelling units per acre.

5. High Density Residential Development (R-8.5). This residential land use category is situated in the northwest portion of the community. It adjoins the municipal boundary of Saddle River to the south and affordable housing and executive office zones to the north. The minimum lot size for single family detached dwellings in this area is 8,150 sf and the recommended density is 5.3

dwelling units per acre.

6. Affordable Housing 1 (AH-1). This land use category is in the northwest portion of the municipality and is developed with attached single family housing. The development was originally referred to as the Hill site and is now known as Centennial Way. The site occupies 2.47 acres and has 22 affordable housing units for sale to low and moderate income residents. The developed density is 9 dwelling units per acre.

7. Affordable Housing 2 (AH-2). Another affordable housing category in the community is the Affordable Housing 2 classification. This land use category encompasses an existing affordable housing development known as Broadway Village. The total land area in this classification is 1.065 acres and the development has a total of 18 units (12 age restricted and 6 family rental units). The developed density of this site is 17 dwelling units per acre.

8. Affordable Housing Overlay (AHO). This designation occupies property on the westerly side of Broadway, north of Coles Crossing Road. The property is identified as Block 2303 Lots 6 and 7. The property contains 0.533 acres and is recommended for a density of 18 dwelling units per acre. The purpose of this overlay is to provide an opportunity to address the unmet need for affordable housing in the community per the direction of the state's Council on Affordable housing.

9. Age Restricted Housing Overlay (ARHO). This designation encompasses 3.6 acres of property on the east side of Chestnut Ridge Road, adjoining the Borough of Montvale. The site is currently vacant but adjoins an active indoor recreational roller skating facility known as The Rink, located in Montvale. Multifamily housing, with an age restriction is proposed as an overlay for this property. The recommended intensity has not been determined.

10. Broadway Business (B-1). This land use category occupies land east of the reservoir, with frontage on Broadway. The Broadway corridor is developed with a mix of office and commercial land uses. Currently, the zoning ordinance permits retail and service uses, offices, banks and financial institutions, nursery schools and day care centers, and wholesale storage and sale of farm products within the confines of a building. Among the uses currently prohibited are restaurants and

residential uses. As noted in the planning recommendations of this report, the permitted and prohibited uses should be evaluated. The plan seeks to permit development in this corridor with commercial uses on lots occupying minimally 10,000 sf.

11. Chestnut Ridge Road Business (B-2). This land use category encompasses land on the west side of Chestnut Ridge Road. The northern portion of the Chestnut Ridge Road area encompasses land on the west side of Chestnut Ridge Road, between Woodmont Avenue and 50 Tice Boulevard. This area is developed with offices and a nursing home. It is recommended that the existing bank at the southwest corner of Tice Boulevard and Chestnut Ridge Road be included in the Chestnut Ridge Road Business land use classification. Another area encompassed by this category is an existing gasoline station at the northwest corner of Chestnut Ridge Road and County Road. Gasoline stations are not a permitted use in the business zones of Woodcliff Lake. Since the majority of this land use classification is occupied by office development it is recommended that the permitted uses in this land use category be limited to offices and financial institutions.

12. Chestnut Ridge Road Commercial (B-3). This land use category encompasses land on the east side of Chestnut Ridge Road, from a point approximately opposite Tice Boulevard, north to the municipal boundary of Montvale. The land use pattern is a mix of retail, commercial and office development. The northernmost portion includes vacant land which is part of The Rink, a recreational roller skating rink partially located in Montvale. As noted in the planning recommendations, the permitted uses in the zoning ordinance district should be evaluated to better reflect the developed character of the area. This land use classification corresponds to the B-3 District.

13. Retail Center (R-C). This land use category encompasses the newly constructed Tice's Corner retail center, on the southwest corner of Chestnut Ridge Road and Tice Boulevard. The purpose of this land use category is to acknowledge the unique developed character of the site as an upscale retail shopping center. The shopping center is occupied by a mix of upscale apparel shops and boutiques carrying high quality merchandise. The physical design of the center is sophisticated with pedestrian amenities, such as wide paver sidewalks, benches, plantings and decorative lighting,

which distinguish the site from a typical strip shopping center. The permitted uses recommended in this area consist only of retail sales and would specifically prohibit personal services, commercial amusements, discount stores, big box retail stores, and cleaning, repair, alteration or servicing of apparel or other merchandise. The area is currently in the B-2 District, but it is recommended that a new zone be created with an RC Retail Center designation. Currently, the existing bank at the northeast corner of the site is located on a leased portion of the property. If the bank site is subdivided in the future, it would be appropriate for the bank parcel to remain in the B-2 classification.

14. Broadway Office (S-O). This land use category corresponds to land on the east side of Broadway, between Prospect and Highview Avenue. It is developed primarily with office uses on lots occupying minimally 25,000 sf. It is recommended that the permitted uses in the classification be designated as office, banking and financial institutions to acknowledge the developed character of the area. The current zoning ordinance permits only professional, business, or administrative office buildings. The existing zoning map does not clearly delineate the zoning boundaries of this district along a portion of the easterly boundary, as it bisects Block 2701 Lot 3. The land use plan map contains a note indicating that the line bisects this lot 215 feet west of the eastern lot line and maintains the existing split designation for this particular property. It is recommended in a subsequent section of this report that all zone boundaries be clearly delineated to follow lot lines, or provide dimensions as to the location of the zone boundary relative to an adjoining lot line.

15. Special Office (SO-II). This land use category encompasses land on the east side of Chestnut Ridge Road, from Glen Road north to the A & P shopping center. The permitted uses in the area are offices, day care centers, banks as accessory to an office building, specialized housing for the elderly, senior day care, health and wellness centers, health and fitness centers as an accessory to an office building, and US Post Office serving Woodcliff Lake. The minimum lot area for development in this zone is 65,000 sf. The area is developed with a child care center, assisted living facility and offices. Two dwellings at the southern end of the area are occupied by dwellings and may be redeveloped in the future. This land use category corresponds to the borough's SO-II District.

16. Executive Office (EO) This classification corresponds to the majority of corporate office and

hotel development along both sides of Tice Boulevard. This area is almost fully developed and includes such corporate tenants as Sony and the Woodcliff Lake Hilton. Other land in this category is on the east side of Chestnut Ridge Road, south of Glen Road and is occupied by BMW headquarters and Ingersoll Rand to the south. The minimum lot size for development is 20 acres. The category permits executive and administrative offices, hotels, farms and food service as an accessory use for feeding and training of guests and employees. The land use designation corresponds to the borough's EAO District.

17. Executive Office I (EO-I). This land use category encompasses land on the south side of Tice Boulevard, between the Woodcliff Lake Hilton and Tice's Corner retail marketplace. The site has been approved for development of a 206,000 sf office building in accordance with a Developer's Contribution Agreement associated with the borough's affordable housing litigation. The minimum lot size for development in this category is 13 acres (inclusive of area dedicated for roadway purposes) and correlates to the borough's EAO II District.

18. Executive Office II (EO-II). This land occupies 20 acres and is currently an orchard owned by BMW. The land is located between the existing BMW headquarters and the Ingersoll Rand campus. The land is part of a Developer's Contribution Agreement associated with the borough's affordable housing litigation. The minimum lot size for development in this area is 19.5 acres. The category permits executive and administrative offices and planned office development containing not more than two buildings. It corresponds to the EAO III District.

19. Recreation and Open Space. All existing park and recreation uses are recommended to be continued. The plan also identifies one proposed site for open space acquisition. The site is south of the Old Mill area, on the west side of Werimus Road, and is known as the Hatheway property (Block 1401 Lot 6). The site occupies 3.55 acres and adjoins land to the north and south which is already owned by the Borough of Woodcliff Lake. The designation of this parcel for open space completes a link in an extensive area of open space which already totals 27 acres and parallels the eastern side of the garden State Parkway.

20. Board of Education. This land use designation encompasses the borough's two public



schools which are located in the central portion of the community. The schools occupy a 24.59 acre tract at the northwest corner of Woodcliff Avenue and Rose Avenue, which extends northward to Dorchester Road. The tract contains a significant amount of open space and provides a recreational amenity for the community.

21. Public. The public land use category encompasses borough owned land, the municipal complex and two newly acquired sites used for community purposes. The former Harriet Tice Residence (Block 301 Lot 6) on the west side of Chestnut Ridge Road, adjoining the Tice's Corner retail center, has been acquired by the borough. The existing structure has been renovated and expanded to serve as a meeting center for senior citizens and other community groups. Another recently acquired site included in this land use classification is the Driscoll Residence (Block 1401 Lot 2). The site contains 2.9 acres and is occupied by an historic Dutch sandstone residence. The site is located on the southwest corner of Old Mill Road and Werimus Road. This building is envisioned as providing a secondary meeting location for community groups.

22. Quasi-Public. The quasi-public land use category encompasses the five existing houses of worship in the community. The purpose of this land use designation is to acknowledge these existing uses.

23. Reservoir Lands. The land holdings of United Water Resources are designated as reservoir lands and are anticipated to remain as open space owned by the water company.

### **Planning Recommendations**

The review of land use issues undertaken as part of the master plan update indicates that some modifications to the borough's land use policies and regulations are necessary. The planning recommendations are set forth below:

**1. Recommended Zoning Amendments.** The following zoning changes are recommended to reflect current land use policies:

a. Create a New Overlay District to Permit Age-Restricted Housing. The site recommended for the age restricted housing overlay occupies 3.6 acres and is located on the east side of Chestnut Ridge Road, opposite Woodmont Drive. The site adjoins The Rink property in Montvale. The Woodcliff Lake property is identified as Block 202 Lots 1, 2 and 3. The Chestnut Ridge Road corridor in Montvale and Woodcliff Lake contains a mix of land uses including a hotel, offices, commercial development, a nursing home, child care center and assisted living facility. A low intensity use, such as age-restricted multi-family development would provide additional housing choice for older residents of the community while creating minimal impacts.

It is recommended that the underlying B-3 zoning remain in effect for this property, but an Age-Restricted Housing Overlay (ARHO) zone be created to enable redevelopment of the site with age-restricted multi-family housing. Development with an age restricted housing use is envisioned as a contiguous development occupying land in both Montvale and Woodcliff Lake, with shared amenities, shared parking and circulation and a cohesive, attractive and unified site design.

b. Designate an Affordable Housing Overlay District. As part of mediation with an objector to the borough's Housing Element and Fair Share Housing Plan, the borough amended its housing plan to designate an affordable housing overlay district for a 0.53 acre site on the northwest corner of Broadway and Coles Crossing Road. The property is identified Block 2303 Lots 6 and 7 and is currently occupied by a commercial use with on-site parking. The Affordable Housing Overlay (AHO) District will permit the underlying B-1 Business District zoning to remain in effect but permits an opportunity to redevelop the site with affordable housing. The recommended density for the site is 18 dwelling units per acre. The architectural features and elements of any redevelopment on this site should complement and be compatible with the Broadway Village affordable housing development located north of this site. Similar building materials and design are envisioned to unify the area's visual character. The topographic characteristics of the site may permit required parking below the structure.

c. Create a Retail Center District to Encompass the Tice's Corner Shopping Center. The purpose of the proposed Retail Center (RC) District is to acknowledge the unique character of the

newly constructed Tice's Corner retail center. This site has unique features, such as extremely wide pedestrian sidewalks, benches, decorative lighting fixtures, paver accents and an upscale appearance.

The following zoning standards are proposed to ensure the site's continued upscale retail occupancy and appearance.

Permitted uses: Conventional retail sales (excluding appliances, hardware and home improvement and office supplies), computer stores, restaurants (excluding carry out/take out and fast food restaurants), coffee and tea cafés, municipal senior centers. Retail sales shall not be interpreted to include the following uses: convenience stores, personal services, commercial amusements, discount club, discount stores, superstores, big box retail stores or the cleaning, repair, alteration or servicing of apparel or other merchandise.

The following definitions do not exist in the current Woodcliff Lake zoning ordinance and should be added:

**CONVENIENCE STORES** – Any retail establishment (such as 7-11 or Quick Check type stores) offering for sale convenience goods, such as prepackaged food and beverage items, tobacco, lottery tickets, periodicals and newspapers, groceries or other household items.

**CONVENTIONAL RETAIL** – The sale of goods to ultimate consumers for personal and household consumption. This shall not mean the bulk sale of goods to customers engaged in the business of reselling goods. Conventional retail uses do not utilize warehouse stack storage techniques. Goods are available for immediate purchase and removal from the premises by the purchaser.

**PERSONAL SERVICE** - An establishment or place of business primarily engaged in the provision of frequent or recurrent needed services of a personal nature. Typical uses include, but are not limited to beauty salons, shoe repair and tailor shops.

**COMMERCIAL AMUSEMENT** – The provision of entertainment or games to the general public for a fee. Typical uses include game rooms and video arcades.

**DISCOUNT CLUB** – A discount store/warehouse for the sale of goods to ultimate consumers for personal or household consumption and/or the bulk sale of goods to customers engaged in the business of reselling goods. Generally, the building utilizes stack storage techniques on the sales floor area. A variety of goods is available, including food, clothing, tires and appliances. Many items are sold in bulk. The patronage for a discount club may be restricted by a membership requirement.

**DISCOUNT STORE** - Discount stores offer a variety of customer services, centralized cashiering, and a wide range of products. They typically maintain long store hours. They may be the only store on a site, or may be found in mutual operation with a related or unrelated retail uses, a supermarket and/or a garden center.

**BIG BOX RETAIL STORE** - A retail use that stocks inventory of goods in large quantities for the purpose of selling retail from a building in which the goods are held and which utilizes warehouse stack storage techniques on the sales floor area. Big box retail is open to the general public and its patronage is not restricted by a membership requirement. Big box retail buildings generally have an industrial-style with large footprints. Although the buildings are usually one story, they are typically 30+ feet in height to allow for the vertical stacking of merchandise.

**SUPERSTORE** – Similar to discount stores, but they also contain a full service grocery department under the same roof which shares entrances and exits with the discount store area.

**RESTAURANT** – An establishment where food and beverages are sold for consumption on the premises to patrons seated within an enclosed building, from a menu during stated business hours and prepared to order. No restaurant shall serve customers in a motor vehicle through a drive-up and/or walk-up window.

**COFFEE AND TEA CAFÉ** – An informal restaurant primarily serving coffee, tea and other non-alcoholic beverage refreshments, and limited menu meals.

**FAST FOOD RESTAURANT** – Any establishment (such as McDonald's, Burger King and Taco

Bell type establishments) where the principal method of operation includes all, or most of, the following characteristics: 1) a permanent menu board is provided from which to select and order food; 2) customer orders occur at a counter; 3) most main course food items are prepackaged rather than made to order; 4) customers pay for food before consuming it; 5) a self service condiment bar is provided; and, 6) trash receptacles are provided for self service bussing.

**CARRY OUT/TAKE OUT RESTAURANT** – Establishments where food is usually ordered by telephone and prepared on premises principally for consumption off the premises. The establishment may deliver food to the customer, or the customer may pick up food.

The following area and bulk requirements are recommended for the RC Retail Center District:

Min. Lot Area (acres)	12
Min. Lot Width (ft)	700
Min Front Yard (ft)	45
Min. Side Yard (ft)	50
Min Rear Yard (ft)	45
Max. Building Coverage (%)	30
Max. Impervious Coverage (%)	80
Max Building Height (ft)	36

As previously noted in this report, if the existing bank at the northeast corner of the retail center site is subdivided in the future, it should remain in the B-2 District classification.

d. Residential Properties Adjoining Ingersoll Rand (Block 802 Lots 3 through 6). These properties are located on the north side of Saddle River Road, just east of the Chestnut Ridge Road intersection. They adjoin a 42 acre parcel occupied by Ingersoll Rand's world headquarters building. Currently, detached residential dwellings are located on Lots 4 and 5, while lots 3 and 6 are vacant. Ingersoll Rand, through a subsidiary, has acquired all of these parcels in anticipation of integrating these properties into a future expansion of office development in this location. These properties are currently in the R-30 residential district. However, since they are now owned by Ingersoll Rand, it is appropriate to recommend that Block 802 Lots 3 through 6 be designated for inclusion in the Executive Office land use category, rather than the R-30 land use category.

**2. Long Range Improvements to Train Station, Causeway and Linkage to Broadway Business District.** A coordinated study should be undertaken to evaluate funding mechanisms and design considerations for a more effective linkage between the causeway, train station and Broadway Business District. The following is noted:

a. Broadway Business District Enhancement. Some of the buildings in the Broadway Business District exhibit small town charm and attractive landscaping while others are devoid of attractive features and have complications with parking layout and circulation. The borough should consider undertaking a streetscape improvement study to establish design parameters for future development in this unique business district. Such requirements for future site plan applications could include distinctive lighting, paver sidewalks or accents, street trees, specific signage requirements, shared parking and other enhancements to create a unique identity and streetscape for the Broadway business district. It is noted that current zoning regulations prohibit restaurants and residential uses. However, permitting these uses, in conjunction with retail use, may provide an incentive for redevelopment in this area, provided sufficient parking is available.

b. Woodcliff Lake Train Station. The circulation and parking at the Woodcliff Lake train station could be vastly improved through a revised layout. With an addition to the existing Department of Public Works facility at the Old Mill, the existing structure occupying the parking area north of the train station may be removed, thereby creating the opportunity for reconfigured parking and circulation. Grade differentials in this area may allow for dual parking levels. There should be consideration given to initiating a redesign of circulation, parking and pedestrian improvements which would create a better link to the causeway, immediately to the west, and the Broadway Business District, immediately to the east. Available funding for this program should be pursued.

c. Reservoir Causeway Improvements. A Beautification Committee has undertaken preliminary planning for the aesthetic enhancement of the reservoir causeway. The preliminary plans call for new street lamps, additional plantings and a paver sidewalk along the causeway to create a more interesting visual and pedestrian environment. Consideration should be given to safe speed limits for the protection of the public. Consideration should be given to examining the

availability of funding to create more substantive improvements to link this area to the Woodcliff Lake train station, Broadway Business District and the residential area to the west.

A unified theme and pedestrian treatment for this area, combined with improved parking and circulation would create more of a town center environment and borough identity.

**3. Future Planning Considerations.** The following items are identified as future planning considerations.

a. Sidewalks On Woodcliff Avenue. The borough has initiated the process for planning the installation of sidewalks on the north side of Woodcliff Avenue, between Werimus Road and the reservoir causeway. A preliminary cost estimate has been completed by the borough engineer and a grant has been applied for to fund the project. It is anticipated that the borough will authorize a survey of the study area to enable a formal design to be completed.

b. Acquire Hathaway Site. The Hathaway property is identified as Block 1401 Lot 6 and occupies 3.5 acres. It is currently occupied by a dwelling. The site adjoins existing municipal open space and recreation lands to the north and south on Werimus Road. The acquisition of this property would complete a linkage between existing municipal recreation lands on the west side of Werimus Road and supplement the amount of existing open space in the borough.

d. Residential Properties at the Northeast Corner of Glen Road and Chestnut Ridge Road (Block 402 Lots 4 and 5). These properties are located at the intersection of Chestnut Ridge Road and Glen Road and are each occupied by a single family dwelling. The parcels adjoin the Garden State Parkway to the east. They have a combined land area of approximately 4 acres and are currently located in the SO-II District. The zone permits several uses including office and assisted living facilities. Other uses, such as banks and health/fitness centers are permitted only as accessory uses to office buildings. The planning board believes additional uses may be appropriate for this site. Due to its location at a busy intersection, traffic impacts associated with any alternative uses on this site should be evaluated.

**4. Recommended Amendments to Land Use Regulations.** The borough's zoning ordinance

and design standards should be reviewed. There are inconsistencies and organizational difficulties associated with the current ordinance. The code should include an index to facilitate locating information, a detailed administrative section indicating the manner in which applications are processed and an application checklist. It is recommended that a table of uses be provided. This type of table, similar to the area and bulk regulations, greatly simplifies the use of the ordinance. The definitions in the ordinance should be reviewed, particularly as they relate to various yards, and bulk dimensions such as lot width and lot depth.

More detailed design standards should be considered, particularly for the Broadway Commercial area. These design standards may include such elements as building massing, orientation, spatial relationships and arrangement; site design; architectural themes and elements, streetscape design; landscaping and signage features. The following specific amendments are recommended at this time:

a. Establish the Zoning Map on a Lot Line Base Map. The current zoning map for the borough does not have lot lines designated on it. Generally, the boundaries of zone districts within the community do follow the lot lines of properties within the area, however, this is not always the case. For example, the eastern boundary of the SO Special Office District on Broadway does not follow the lot lines of Block 2701 Lot 3. Adding further complication is the fact that no dimension is provided on the existing map indicating the distance between the zone line and the lot line. It is recommended that zone lines be delineated on a lot line base map to clearly indicate their boundaries, and that in cases where the zone line bisects a property, the distance in feet from the lot line be provided on the map. For further clarification, the zoning map available for sale to the public should be at a legible size, such as 11" x 17" minimally, so that the street names are clear.

b. Yard Definitions and Illustrative Diagrams. The borough would benefit from revising the current definitions of yards to clarify the language and incorporate diagrams illustrating the yard configuration for irregularly shaped lots to avoid confusion and aid in consistency. For example, the current zoning ordinance contains two different definitions for "yard, front" and "front, yard". There are also conflicting sections regarding the determination of yards on corner lots. Proposed definitions are provided in the appendix, along with diagrams.



c. Distinguish Permitted Uses for B-1, B-2 and B-3 Districts. The developed character of the B-1, B-2 and B-3 Districts is very distinct from one another, yet the current zoning ordinance permits the same uses in each of the three districts. The B-1 district encompasses land on Broadway and is developed with small scale neighborhood commercial land uses. The B-2 district encompasses office development and a nursing home on the western side of the Chestnut Ridge Road corridor, while the B-3 district includes the A& P shopping center, office development and The Rink site on the east side of the Chestnut Ridge Road corridor. The list of permitted uses should be tailored to more closely reflect the developed character of these individual business districts. Recommended uses for each zone are set forth in the appendix.

d. Undertake a Comprehensive Review of Zoning and Design Standards. The current land development regulations for the borough include several ordinance amendments which should be codified into the comprehensive regulations. It is recommended that the borough undertake a thorough review of all development regulations, particularly to identify inconsistencies and areas of concern.

e. Floor Area Ratio. Concern has been expressed that older homes are demolished and replaced with dwellings occupying too much of the lot. A floor area ratio regulation should be considered to regulate the amount of square footage permitted on a residential lot. To determine the regulations appropriate for neighborhoods in Woodcliff Lake, it is recommended that a study of existing residential floor area ratios be undertaken. A range of 0.25 to 0.35 is typical single family detached dwellings.

f. Building Height. The residential zone districts in Woodcliff Lake limit the building height to a maximum of 30 to 37 feet measured as the vertical distance from the average natural grade of the lot adjacent to the perimeter of the building to the highest point of the building. The current regulations require that the average natural grade be calculated by averaging the natural grade adjacent to the building at points ten feet apart. Discussions have indicated that the measurement and 30 foot height can be problematic and the regulation should be reviewed. An alternative building height definition is provided in the appendix to this report.

g. Minor Subdivision. The borough's definition of minor subdivision should be amended to specify the number of lots comprising a minor subdivision, since the current definition references "a number of lots specifically permitted by ordinance." Typically, communities limit minor subdivisions to two or three lots.

**5. Traffic and Circulation Improvements.** The following intersections are identified as locations which could be enhanced by safety improvements.

a. Werimus Road and Saddle River Road. This T-intersection is controlled by a stop sign for eastbound Saddle River Road traffic. An existing commercial use located on the southwest corner of the intersection does not have controlled ingress and egress. Consequently, conflicting movements occur between through traffic and vehicles entering and leaving the commercial site. There should be consideration given to studying the possibility of improvements at the intersection, particularly if there is additional development at the Ingersoll Rand site, which is located west of this intersection.

b. Chestnut Ridge Road/Glen Road/County Road. A townhouse development is proposed at the southwest corner of Chestnut Ridge Road and County Road. The majority of this site is in Saddle River, but a small portion is in Woodcliff Lake. Construction of this project is likely to require traffic control modifications at these intersections. Since all residential development proposed for the site is in Saddle River, access and egress should be located within Saddle River.

c. Chestnut Ridge Road and Saddle River Road. Previous traffic studies indicated the potential need for improvements at this intersection. The modifications previously identified called for widening the westbound Saddle River Road approach and providing a westbound channelized right turn lane. Signage and pavement striping upgrades were also recommended. A signal was recommended if warrants were met. There is a potential for additional non-residential development on the east side of Chestnut Ridge Road, north of Saddle River Road, which may trigger the need for traffic improvements at this location.

d. Saddle River Road and Overlook Road. Previous traffic studies recommended traffic signal

installation, if warranted. The studies also highlighted the difficulties with sight distance at Overlook Road to the east along Saddle River Road. Any additional development at the Ingersoll Rand site is likely to impact this location.

It is noted that the maps included in this report show a right of way connection between Apple Ridge and the Chestnut Ridge Road/Saddle River Road intersection. The maps in this report are based on the borough's tax maps which delineate the right of way as shown herein. However, in actuality, the northern portion of the existing Apple Ridge right of way is unimproved and the northern terminus of the roadway is a dead end with no vehicular connection to Chestnut Ridge Road/Saddle River Road. There are no plans to improve the northern portion of the Apple Ridge right of way to connect to the Chestnut Ridge Road/Saddle River Road intersection. Apple Ridge currently serves as an exclusively residential roadway and a through connection is neither contemplated, nor encouraged.

## **6.0 SIDEWALK ANALYSIS OF WOODCLIFF AVENUE**

As part of the master plan, the borough opted to commence the planning process for the installation of sidewalks on Woodcliff Avenue. The consensus was that the northerly side of the road was the most appropriate location for sidewalks since the borough's schools are located on the north side of the roadway. Safer pedestrian access to and from the schools via Woodcliff Avenue was a primary motivation in initiating the sidewalk study. The sidewalk study encompassed the north side of Woodcliff Avenue, between Werimus Road and Pascack Road.

A survey had not been authorized by the municipality at the time of master plan preparation. Therefore, no specific information was available regarding the precise location of the right of way and other features related to sidewalk design. A conceptual sidewalk location plan was prepared based on a field inspection and analysis of the existing conditions in the study area by Burgis Associates personnel. The analysis included the approximate location of utility poles, fire hydrants, trees, drainage facilities and sidewalks.

The existing conditions identified by field inspection were schematically mapped. The conceptual sidewalk was incorporated onto the existing conditions field map. The location represents the most minimal disturbance and encroachment onto existing properties. The maps showing a conceptual sidewalk location are provided at the end of this report. The actual location of the future sidewalk will be dependent upon the specifications acceptable to Bergen County, since Woodcliff Avenue is a county road and must satisfy county requirements for lane width and curb locations. The schematic maps are intended to serve as a starting point for discussion of the possible placement of sidewalks in this area, they do not represent a formal plan since a survey must be completed for formal planning to go forward on this issue.

The study indicates the following:

1. Woodcliff Avenue, between Werimus Road and Learning Lane.

a. There is an existing sidewalk that was constructed in conjunction with a new subdivision known as Bliss Estates. This sidewalk exists along the entire site frontage.

b. The remainder of the Woodcliff Avenue frontage, between Bliss Estates and Arcadia Road, does not have a sidewalk. The field inspection indicates that there are approximately four large trees located within the right of way. One utility pole and one fire hydrant also appear to be located within the right of way. A handicapped curb cut would be required at the northwest corner of Woodcliff Avenue and Arcadia Road.

c. Between Arcadia Road and Learning Lane, there is no existing sidewalk. The field study did not locate any trees within the right of way in this section. A fire hydrant is within the right of way. It appears that the sidewalk could be located as shown with minimal disturbance to adjoining properties.

2. Woodcliff Avenue, between Learning Lane and Fairview Avenue.

a. There is an existing sidewalk between Learning Lane and Rose Avenue. This sidewalk is

located in front of the Board of Education property. The field study indicates that there are two trees, three utility poles and a fire hydrant located within the right of way along this segment of Woodcliff Avenue. Handicapped curb cuts are required at the northwest and northeast corners of Rose Avenue.

b. No sidewalk exists between Rose Avenue and Fairview Avenue. Other features in this section are an increased vertical curvature for Woodcliff Avenue which affects sight distance, and changes in elevation between the roadway and adjoining properties. The field study indicates a number of obstructions are located within the Woodcliff Avenue right of way along this section of roadway. Handicapped curb cuts would be required at both corners of Fairview Avenue.

3. Woodcliff Avenue, between Fairview Avenue and Pascack Road

a. There is no existing sidewalk between Fairview Avenue and South Carnot Avenue. The existing features of this area include vertical roadway curvature, significant topographic differences between adjoining properties and the roadway, and several obstructions within the right of way. Handicapped curb cuts will be required at the South Carnot Avenue intersection with Woodcliff Avenue.

b. Only a small section is without a sidewalk between South Carnot Avenue and Pascack Road. The field study indicates that a sidewalk could be installed linking the existing sidewalk to South Carnot Avenue with minimal impacts to adjoining property.

In summary, the field study and conceptual sidewalk study indicate that a sidewalk can be installed along the majority of the frontage with minimal impacts to adjoining property owners. The section of Woodcliff Avenue between South Carnot Avenue and Rose Avenue will present greater issues due to the vertical curvature of the roadway and the varied topographic differences between the roadway and adjoining properties. The municipality will need to authorize and complete a survey of the study area to continue the planning process for the installation of sidewalks along Woodcliff Avenue. Close interaction with Bergen County officials will also be important during the planning process since the improvements will occur along a county road.

## MAPS




BOROUGH OF MONTVALE

BOROUGH OF UPPER SADDLE RIVER

BOROUGH OF SADDLE RIVER

BOROUGH OF PARK RIDGE

BOROUGH OF HILLSDALE

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Project Title  
**MASTER PLAN**

WOODCLIFF LAKE      NEW JERSEY

Dwg. Legend



 RESIDENTIAL



 NURSING HOME/GROUP HOME  
ASSISTED LIVING/BOARDING HOME



 AFFORDABLE HOUSING



 COMMERCIAL



 OFFICE



 PUBLIC/QUASI-PUBLIC



 RELIGIOUS INSTITUTION



 UNITED WATER RESOURCES



 BOARD OF EDUCATION



 OPEN SPACE/RECREATION



 FARM QUALIFIED LAND



 VACANT

1	Revision	12	9/02	SGK	DH
Rev	Description	Date	Drawn	Checked	

Dwg. Title  
**EXISTING LAND USE MAP**

Graphic Scale  
  
0    325    650    1300

JOSEPH H. BURGIS AICP  
PROFESSIONAL PLANNER  
NEW JERSEY LIC. NO. 2450

Project No.	1026.01
Sheet No.	1 of 1
Date	7/24/02
Drawn	SGK
ACAD File	1026.01.dwg
Dwg. Scale	1"=4300'

Dwg. No.  
**LU**

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BOROUGH OF MONTVALE

BOROUGH OF UPPER SADDLE RIVER

BOROUGH OF SADDLE RIVER

BOROUGH OF PARK RIDGE

BOROUGH OF HILLSDALE



NOTES:

- TOPOGRAPHIC INFORMATION WAS OBTAINED FROM DEPS WEBSITE-ALL GEOLOGICAL SURVEY D65994
- WETLANDS INFORMATION WAS OBTAINED FROM N.J. DEPS WEBSITE
- FLOOD INFORMATION WAS OBTAINED FROM FLOOD.MAPS.COM
- BASE MAP WAS PREPARED BY:

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Project Title  
**MASTER PLAN**  
WOODCLIFF LAKE NEW JERSEY

Key Map  
Scale NOT TO SCALE

Dwg. Legend

- STEEP SLOPES (15% AND GREATER)
- WETLANDS
- 100 YEAR FLOODPLAIN

Rev	Description	Date	Drawn	Check

Dwg. Title  
**ENVIRONMENTAL CONSTRAINTS MAP**

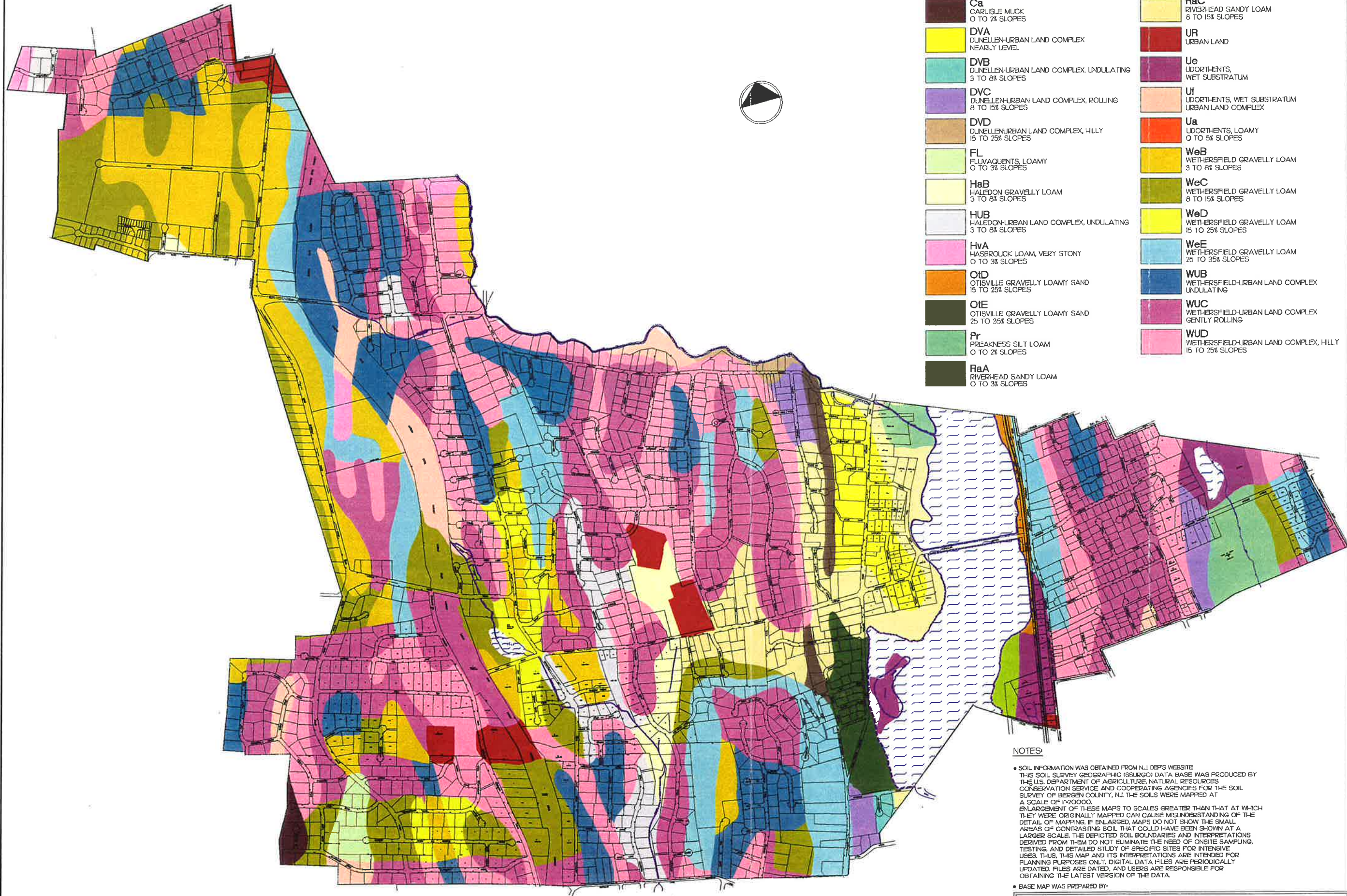
Graphic Scale  
0 325 650 1300

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Project No.	1026.01
Sheet No.	1 of 1
Date	7/24/07
Drawn	SGK
ACAD File	1026.dwg
Dwg. Scale	1"=150'
Dwg. No.	EC

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LEGEND:

- WATER
- Ca CARLISLE MUCK  
0 TO 2% SLOPES
- DVA DUNELLEN-URBAN LAND COMPLEX  
NEARLY LEVEL
- DVB DUNELLEN-URBAN LAND COMPLEX, UNDULATING  
3 TO 8% SLOPES
- DVC DUNELLEN-URBAN LAND COMPLEX, ROLLING  
8 TO 15% SLOPES
- DVD DUNELLEN-URBAN LAND COMPLEX, HILLY  
15 TO 25% SLOPES
- FL FLUVAQUENTS, LOAMY  
0 TO 3% SLOPES
- HaB HALEDON GRAVELLY LOAM  
3 TO 8% SLOPES
- HUB HALEDON-URBAN LAND COMPLEX, UNDULATING  
3 TO 8% SLOPES
- HvA HASBROUCK LOAM, VERY STONY  
0 TO 3% SLOPES
- OtD OTISVILLE GRAVELLY LOAMY SAND  
15 TO 25% SLOPES
- OtE OTISVILLE GRAVELLY LOAMY SAND  
25 TO 35% SLOPES
- Pr PRAKNES SILT LOAM  
0 TO 2% SLOPES
- RaA RIVERHEAD SANDY LOAM  
0 TO 3% SLOPES
- RaB RIVERHEAD SANDY LOAM  
3 TO 8% SLOPES
- RaC RIVERHEAD SANDY LOAM  
8 TO 15% SLOPES
- UR URBAN LAND
- Ue UDORTHENTS, WET SUBSTRATUM
- Uf UDORTHENTS, WET SUBSTRATUM  
URBAN LAND COMPLEX
- Ua UDORTHENTS, LOAMY  
0 TO 5% SLOPES
- WeB WETHERSFIELD GRAVELLY LOAM  
3 TO 8% SLOPES
- WeC WETHERSFIELD GRAVELLY LOAM  
8 TO 15% SLOPES
- WeD WETHERSFIELD GRAVELLY LOAM  
15 TO 25% SLOPES
- WeE WETHERSFIELD GRAVELLY LOAM  
25 TO 35% SLOPES
- WUB WETHERSFIELD-URBAN LAND COMPLEX  
UNDULATING
- WUC WETHERSFIELD-URBAN LAND COMPLEX  
GENTLY ROLLING
- WUD WETHERSFIELD-URBAN LAND COMPLEX, HILLY  
15 TO 25% SLOPES

NOTES:

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Project Title  
MASTER PLAN  
WOODCLIFF LAKE NEW JERSEY

Key Map  
Scale NOT TO SCALE

Dwg. Legend

Rev Description Date Dwn Ckd  
Dwg. Title  
ILLUSTRATIVE SOILS MAP  
Graphic Scale  
0 300' 600' 1200' 1800'

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Project No. 1026.01  
Sheet No. 1 of 1  
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ACAD File 1026.01SOILS  
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BOROUGH OF UPPER SADDLE RIVER

BOROUGH OF SADDLE RIVER

BOROUGH OF PARK RIDGE

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Project Title  
MASTER PLAN

WOODCLIFF LAKE NEW JERSEY

Key Map  
Scale NOT TO SCALE

- Dwg. Legend
- ① CADMUS HOUSE  
BL.509, L.14
  - ② WESTERVELT  
LYDECKER HOUSE  
BL.1401, L.2
  - ③ WORTENDYKE  
FREDERICK HOUSE  
BL.2401, L.3
  - ④ WORTENDYKE  
JACOB HOUSE  
BL.301, L.9
  - ⑤ PETER P. POST  
HOUSE  
BL.1806, L.20

Rev	Description	Date	Drawn	Chd
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Dwg. Title  
HISTORIC  
PROPERTIES MAP

Graphic Scale  
N.T.S.

JOSEPH H. BURGIS AICP  
PROFESSIONAL PLANNER  
NEW JERSEY LIC. NO. 2450

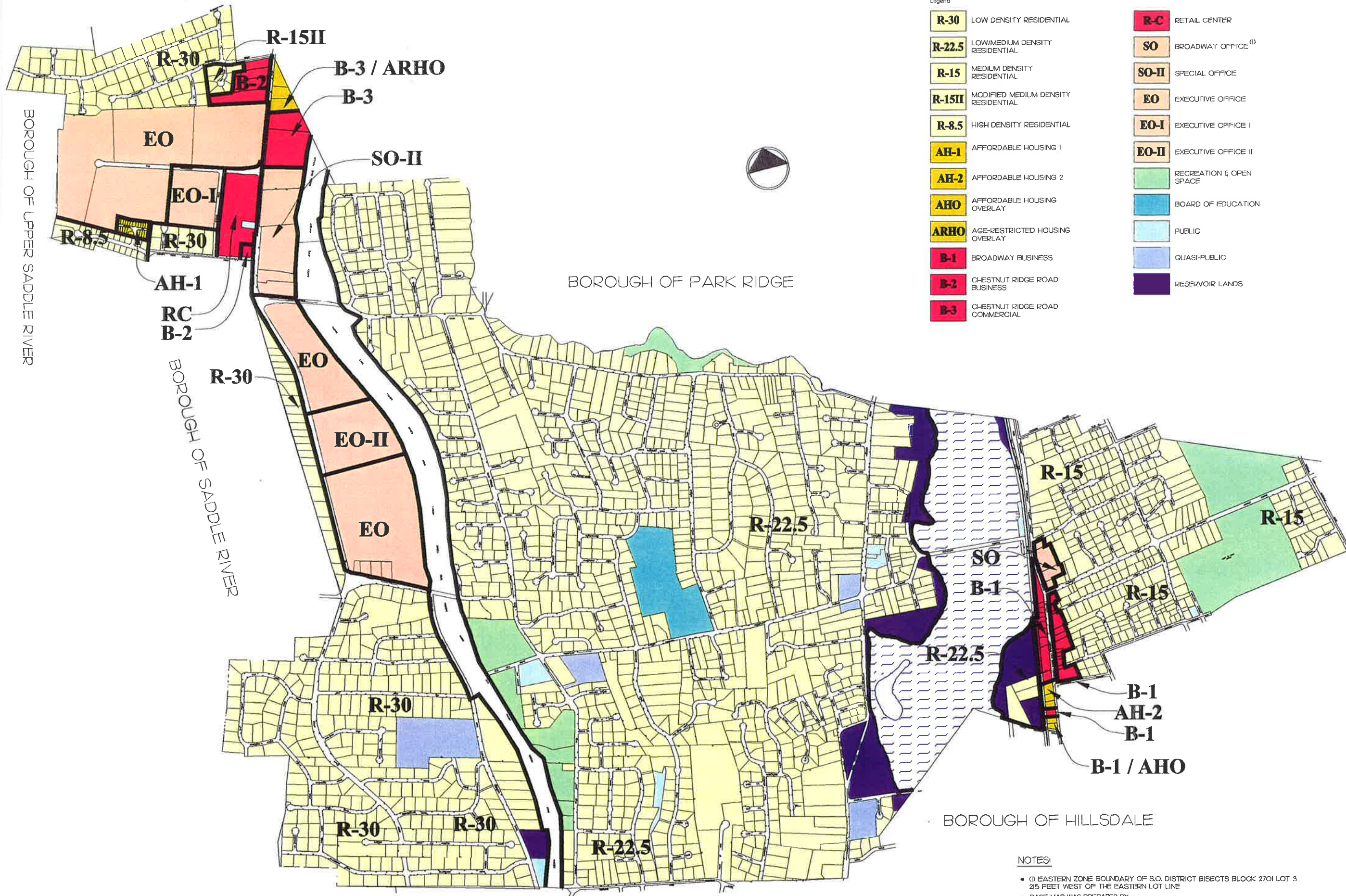
Project No.	102601
Sheet No.	1 of 1
Date	07-09-02
Drawn	ABB
ACAD File	102601.dwg
Dwg. Scale	N.T.S.

Dwg. No.  
**HP**  
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NOTES  
BASE MAP WAS PREPARED BY:

**THOMAS W. SKRABLE, P.E., P.P., C.M.E.**  
CONSULTING ENGINEER  
106 MARSHALL AVENUE, MANVANA, NJ 07648  
201-529-1752





Legend

<b>R-30</b>	LOW DENSITY RESIDENTIAL	<b>R-C</b>	RETAIL CENTER
<b>R-22.5</b>	LOW/MEDIUM DENSITY RESIDENTIAL	<b>SO</b>	BROADWAY OFFICE <sup>(1)</sup>
<b>R-15</b>	MEDIUM DENSITY RESIDENTIAL	<b>SO-II</b>	SPECIAL OFFICE
<b>R-15II</b>	MODIFIED MEDIUM DENSITY RESIDENTIAL	<b>EO</b>	EXECUTIVE OFFICE
<b>R-8.5</b>	HIGH DENSITY RESIDENTIAL	<b>EO-I</b>	EXECUTIVE OFFICE I
<b>AH-1</b>	AFFORDABLE HOUSING 1	<b>EO-II</b>	EXECUTIVE OFFICE II
<b>AH-2</b>	AFFORDABLE HOUSING 2		RECREATION & OPEN SPACE
<b>AHO</b>	AFFORDABLE HOUSING OVERLAY		BOARD OF EDUCATION
<b>ARHO</b>	AGE-RESTRICTED HOUSING OVERLAY		PUBLIC
<b>B-1</b>	BROADWAY BUSINESS		QUASI-PUBLIC
<b>B-2</b>	CHESTNUT RIDGE ROAD BUSINESS		RESERVOIR LANDS
<b>B-3</b>	CHESTNUT RIDGE ROAD COMMERCIAL		

BOROUGH OF PARK RIDGE

BOROUGH OF HILLSDALE

NOTES:

- (1) EASTERN ZONE BOUNDARY OF S.O. DISTRICT BISECTS BLOCK 2701 LOT 3 215 FEET WEST OF THE EASTERN LOT LINE
- BASE MAP WAS PREPARED BY:

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**BURGIS ASSOCIATES, INC.**  
COMMUNITY PLANNING AND DEVELOPMENT CONSULTANTS  
25 Westwood Avenue  
Westwood, New Jersey 07675  
Phone: (201) 666-1811  
Fax: (201) 666-2399

Project Title  
**MASTER PLAN**

WOODCLIFF LAKE NEW JERSEY

Key Map  
Scale NOT TO SCALE

Dwg. Legend

Rev	Description	Date	Drawn	Check
1	Revision	12/9/02	SGK	OH

Dwg. Title  
**LAND USE PLAN AND  
PROPOSED ZONING MAP**

Graphic Scale  
0 325 650 1300

JOSEPH H. BURGIS AICP  
PROFESSIONAL PLANNER  
NEW JERSEY LIC. NO. 2450

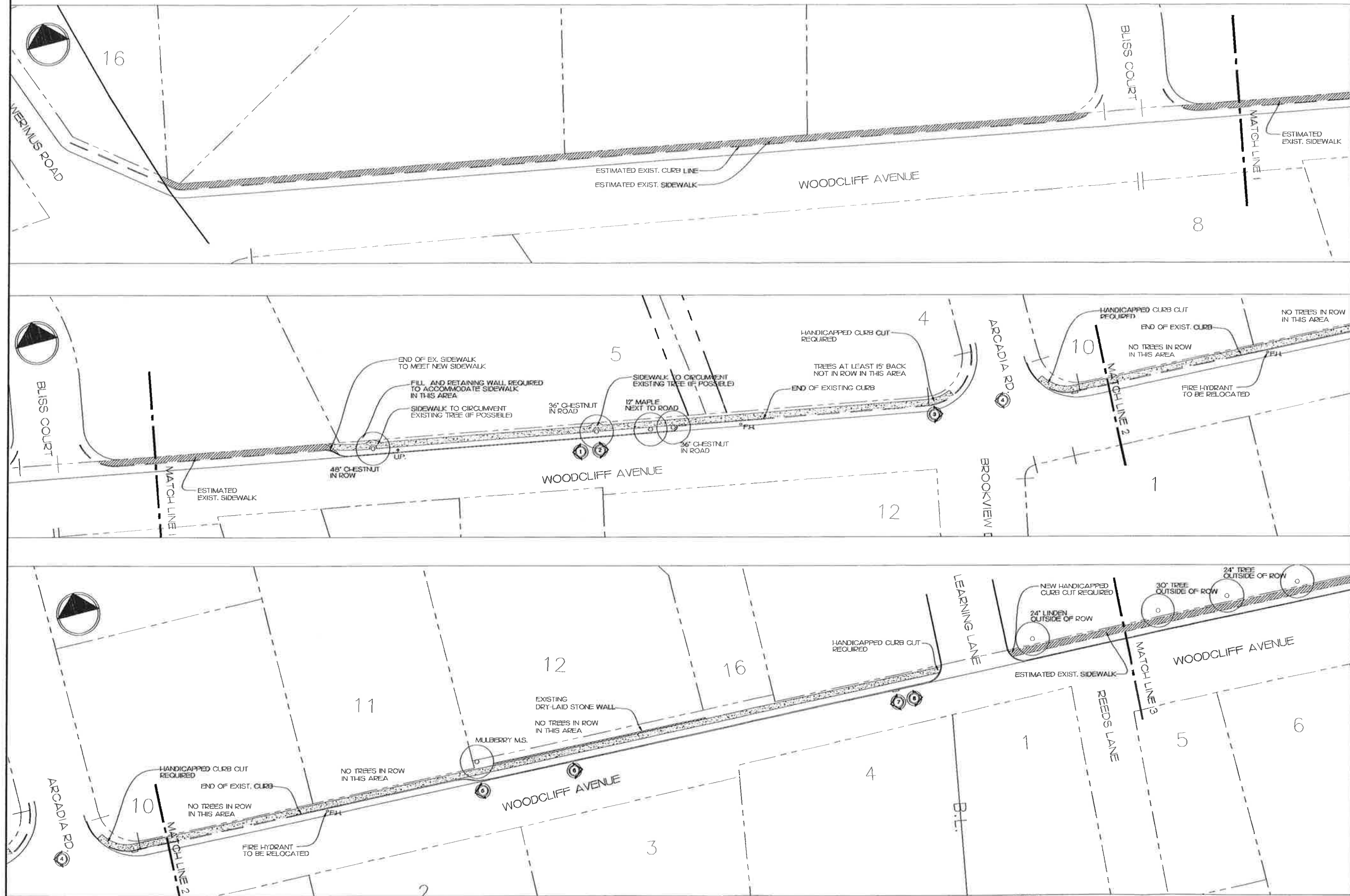
Project No.	1026.01
Sheet No.	1 of 1
Date	7/24/02
Drawn	SGK
ACAD File	1026.01W
Dwg. Scale	1"=300'
Dwg. No.	












**LUZP**  
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Key Map

Scale NOT TO SCALE

A circular symbol with a triangle pointing upwards, representing a north arrow.

- Dwg. Legend
- |                                                                                       |                         |
|---------------------------------------------------------------------------------------|-------------------------|
|    | EXISTING CURB LINE      |
|    | SUGGESTED NEW CURB LINE |
|    | EXISTING RETAINING WALL |
|    | EXISTING FENCE          |
|    | EXISTING FIRE HYDRANT   |
|    | EXISTING UTILITY POLE   |
|    | EXISTING DRAIN          |
|    | EXISTING TREE           |
|   | PHOTOGRAPH LOCATION     |
|  | SUGGESTED SIDEWALK      |
|  | EXISTING SIDEWALK       |

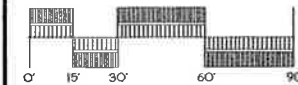
Rev	Description	Date	Dwn Clk
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Dwg. Title
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## SIDEWALK IMPROVEMENTS

WOODCLIFF AVENUE BETWEEN  
WERIMUS RD. AND LEARNING LANE

Graphic Scale:



JOSEPH H. BURGIS AICP  
PROFESSIONAL PLANNER  
NEW JERSEY LIC. NO. 2450

Project No.	1026.01
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Sheet No. 1 of 3

Date	12/05/01
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Drawn	SGK/EJS

Doc. No. AS 510041

Dwg. No.

SW1

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  - BASE TAX MAP WAS PREPARED BY:

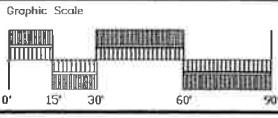
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CONSULTING ENGINEER  
106 HURLOCK AVENUE, MAHWAH, NJ 201-529-1757

106 MARION AVENUE, MAHWAH, NJ 201-529-1757

- Dwg. Legend
- EXISTING CURB LINE
  - - - SUGGESTED NEW CURB LINE
  - - - EXISTING RETAINING WALL
  - - - EXISTING FENCE
  - F.H. EXISTING FIRE HYDRANT
  - U.P. EXISTING UTILITY POLE
  - EXISTING DRAIN
  - EXISTING TREE
  - ⊙ PHOTOGRAPH LOCATION
  - ▨ SUGGESTED SIDEWALK
  - ▨ EXISTING SIDEWALK

Rev	Description	Date	Drawn	Checked
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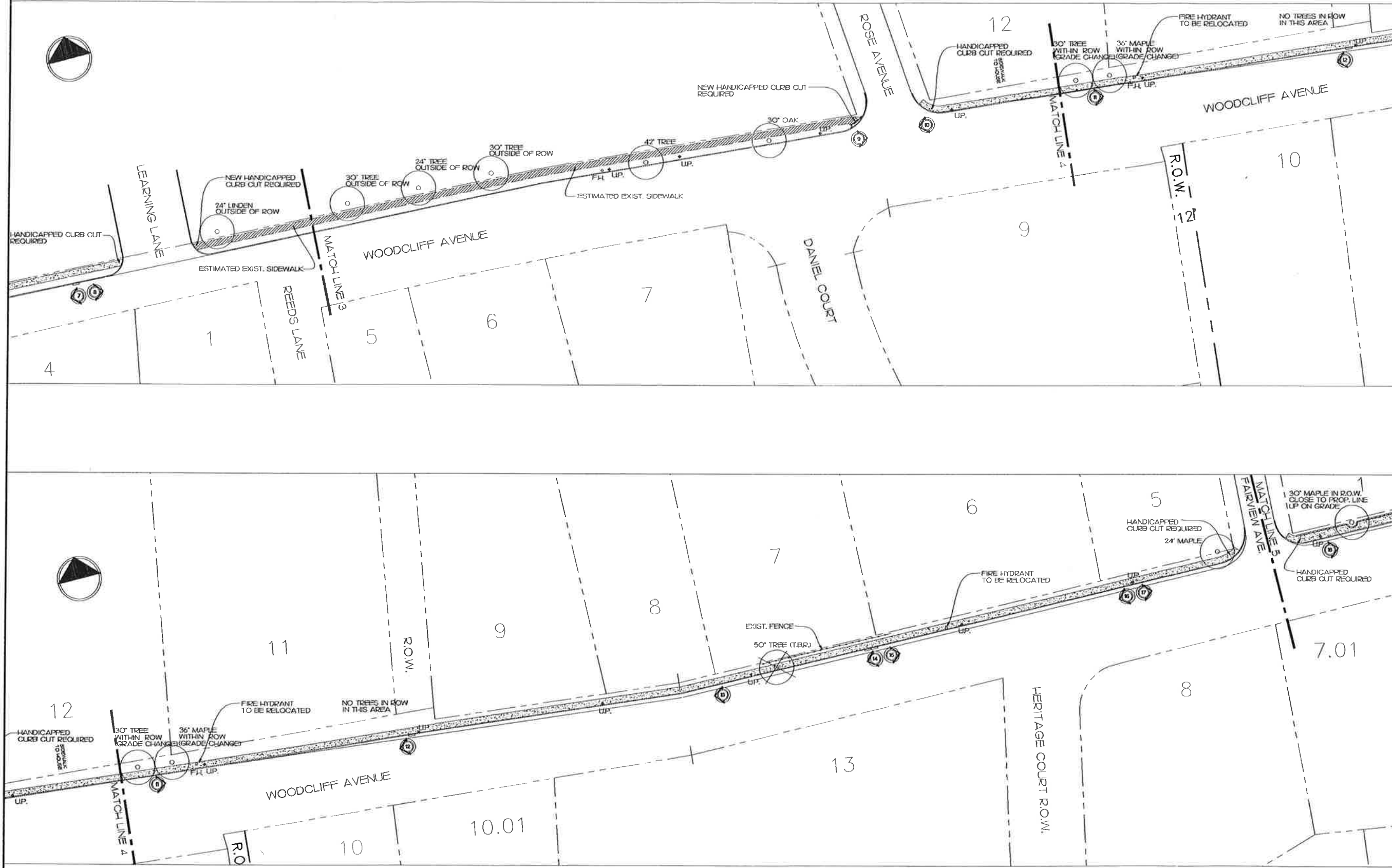
Dwg. Title  
**SIDEWALK IMPROVEMENTS**  
 WOODCLIFF AVENUE BETWEEN  
 LEARNING LANE AND FAIRVIEW AVENUE



JOSEPH H. BURGIS AICP  
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Project No. 1036.01  
 Sheet No. 2 of 3  
 Date 12/05/01  
 Drawn SGK/EJS  
 ACAD File 1036.01.DWG  
 Dwg. Scale AS SHOWN

Dwg. No.  
**SW2**  
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 201-529-1757

Project Title  
**MASTER PLAN**

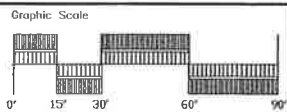
WOODCLIFF LAKE NEW JERSEY

Key Map  
 Scale NOT TO SCALE

- Dwg. Legend
- EXISTING CURB LINE
  - SUGGESTED NEW CURB LINE
  - EXISTING RETAINING WALL
  - EXISTING FENCE
  - F.H. EXISTING FIRE HYDRANT
  - U.P. EXISTING UTILITY POLE
  - EXISTING DRAIN
  - EXISTING TREE
  - ⊙ PHOTOGRAPH LOCATION
  - ▨ SUGGESTED SIDEWALK
  - ▨ EXISTING SIDEWALK

Rev	Description	Date	Drawn	Check

Dwg. Title  
**SIDEWALK IMPROVEMENTS**  
 WOODCLIFF AVENUE BETWEEN  
 FAIRVIEW AVENUE AND PASCACK ROAD



JOSEPH H. BURGIS AICP  
 PROFESSIONAL PLANNER  
 NEW JERSEY LIC. NO. 2450

Project No.	1026.01
Sheet No.	3 of 3
Date	12/05/01
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ACAD File	1026.01B1.dwg
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Dwg. No.  
**SW3**  
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## **APPENDIX**

## **YARD DEFINITIONS**

The existing Woodcliff Lake Zoning Ordinance has the following definitions for front yard:

“Front Yard – That unoccupied portion of a lot, tract or parcel of land which fronts upon a public street between the street line and the parts of the principal building nearest thereto measured parallel to and at right angles to the front lot line. In the event that such lot, tract or parcel is bounded by a public street on more than one (1) side, the front yard shall be deemed to be the street on which the building faces, whether or not containing the front entrance to such building, and if none, then, the side of such public street which shall have the longest length.”

“Yard, Front – The unoccupied area extending across the width of the lot and lying between the street line of the lot and the parts of the principal building nearest thereto, measured parallel to the front property line.”

This conflicts with 262-39B regarding “corner lots” which requires the front yard setback to be met on each street and reads:

“Corner lot (front and side yards). Any building to be constructed on a lot fronting on two (2) streets, commonly known as a ‘corner lot, shall on each street be setback the number of feet required for a front yard on each street, it being the intention of this chapter that the side of a building on any corner lot shall be aligned with the front yard setback for a building located on an interior lot.”

A proposed definition for consideration is as follows:

**FRONT YARD** – Open space extending across the full width of a lot between the front lot line or the proposed front street line and nearest line of any building or structure or any enclosed portion thereof. The depth of such yard is the shortest horizontal distance between the front lot line or proposed front lot line or proposed front street line and the nearest point of the building or any enclosed portion thereof and the nearest point of the building

Similarly, the existing definition for side yard could be improved. The existing definition in the current zoning ordinance is as follows:

“Yard, Side – The unoccupied area between the side line of the lot and the parts of the building nearest thereto extending from the front yard to the rear yard or, in the absence of either of such yard, to the front or rear lot line, as may be appropriate, measured parallel to the side lot line.”

A proposed alternative to the existing definition is as follows:

**SIDE YARD** - A yard between any building or structure and side lot line, extending from the front yard to the rear yard, or front lot line to rear lot line where no front yard or rear yard is required. The width of the required side yard shall be measured horizontally from the nearest point of the side lot line to the nearest part of the building.



The accompanying yard diagrams should be incorporated into the borough's zoning ordinance to eliminate confusion regarding the determination of yards on irregular and corner lots. Also, definitions of front, side and rear yards should refer to "principal building and/or structures".

## **SHEDS, DECKS AND CABANAS**

Section 262-11D(1) should be amended to provide that all patios and decks up to 12 inches high can be located 20 feet from the property line (similar to pool decks and pool patios). Cabanas should be permitted to be a maximum 100 square feet in floor area and a maximum of 10 feet high, otherwise they are determined to be a structure.

262-11D(2) regarding sheds should be amended to permit a maximum height of 10 feet, in lieu of the current 8 foot limit, to allow residents to purchase prefabricated units which commonly exceed the 8 foot height.

## **HOME PROFESSION**

262-13C(2) regulates incidental home professions and currently permits only residents to be employed. The borough should consider allowing the employment of one non-resident. There should also be a requirement that adequate off-street parking be provided at all times.

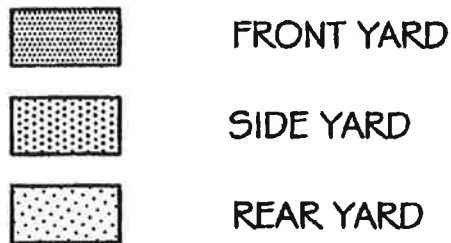
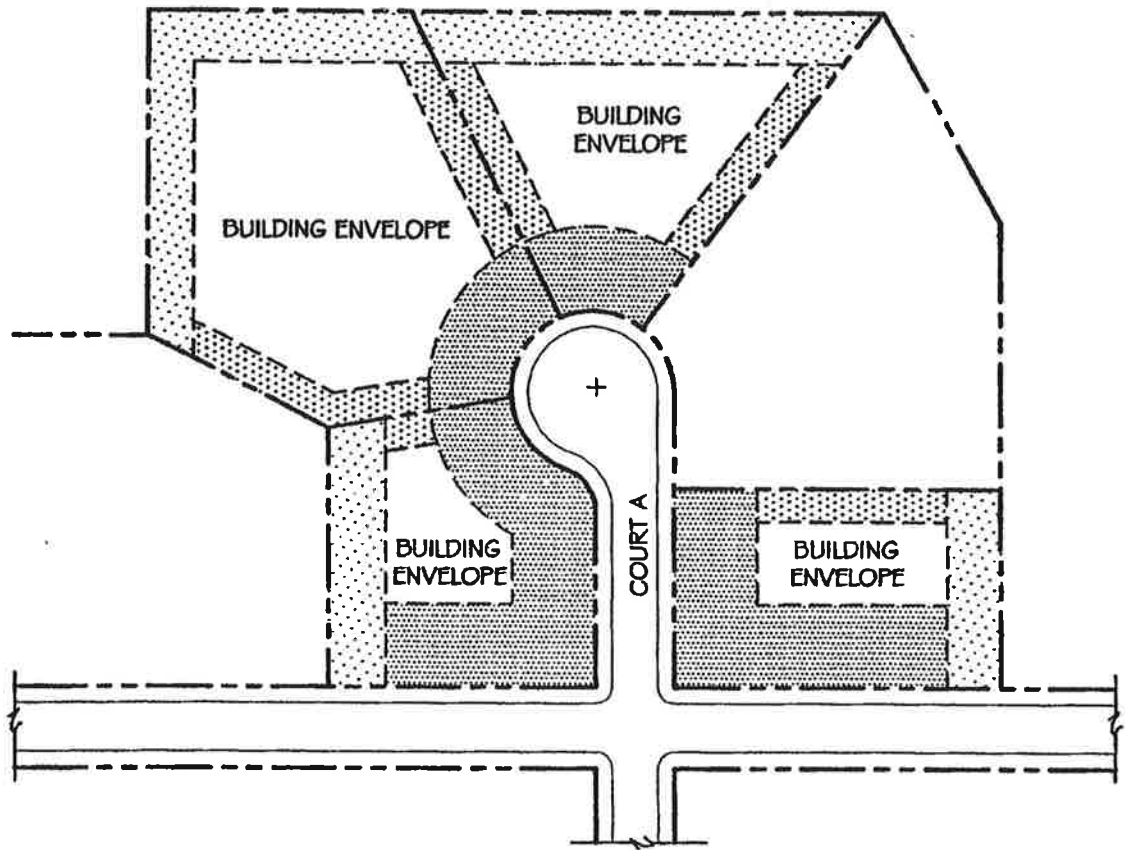
## **DEVELOPMENT FEES**

262-32.5 Requires development fees in the residential zone districts. The ordinance should be amended to exclude residential additional or alterations.

## **PROJECTIONS AND ENCROACHMENTS**

262-39E regulates projections and encroachments. The code should increase the current 4 inch eave projection to 16 inches.

# YARD DEFINITION AND BUILDING ENVELOPE



Drawing Name

FIGURE 1

Project No.

1026.01

Drawing Date

07/08/02

Drawn by

ABB



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201-888-1811 FAX: 201-888-2509

Project Name  
**WOODCLIFF LAKE MASTER PLAN**

Drawing Scale

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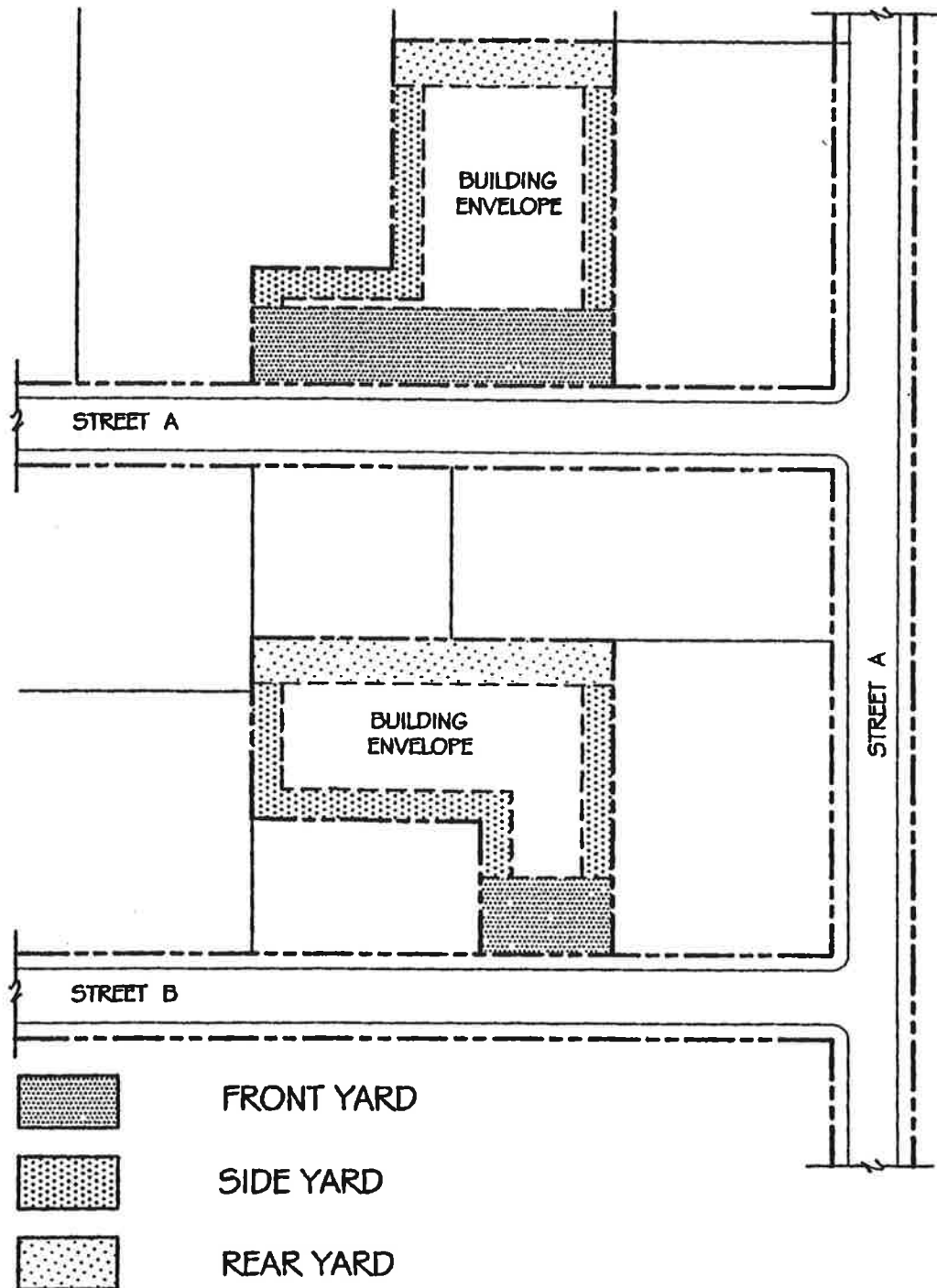
Sheet No.

1 of 4

Drawing No.

1026.B.E.1

# YARD DEFINITION AND BUILDING ENVELOPE



Drawing Name

FIGURE 2

Project No.

1026.01

Drawing Date

07/08/02

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WESTWOOD, N.J. 07675  
201-886-1811 FAX: 201-886-2599

Project Name

WOODCLIFF LAKE MASTER  
PLAN

Drawing Scale

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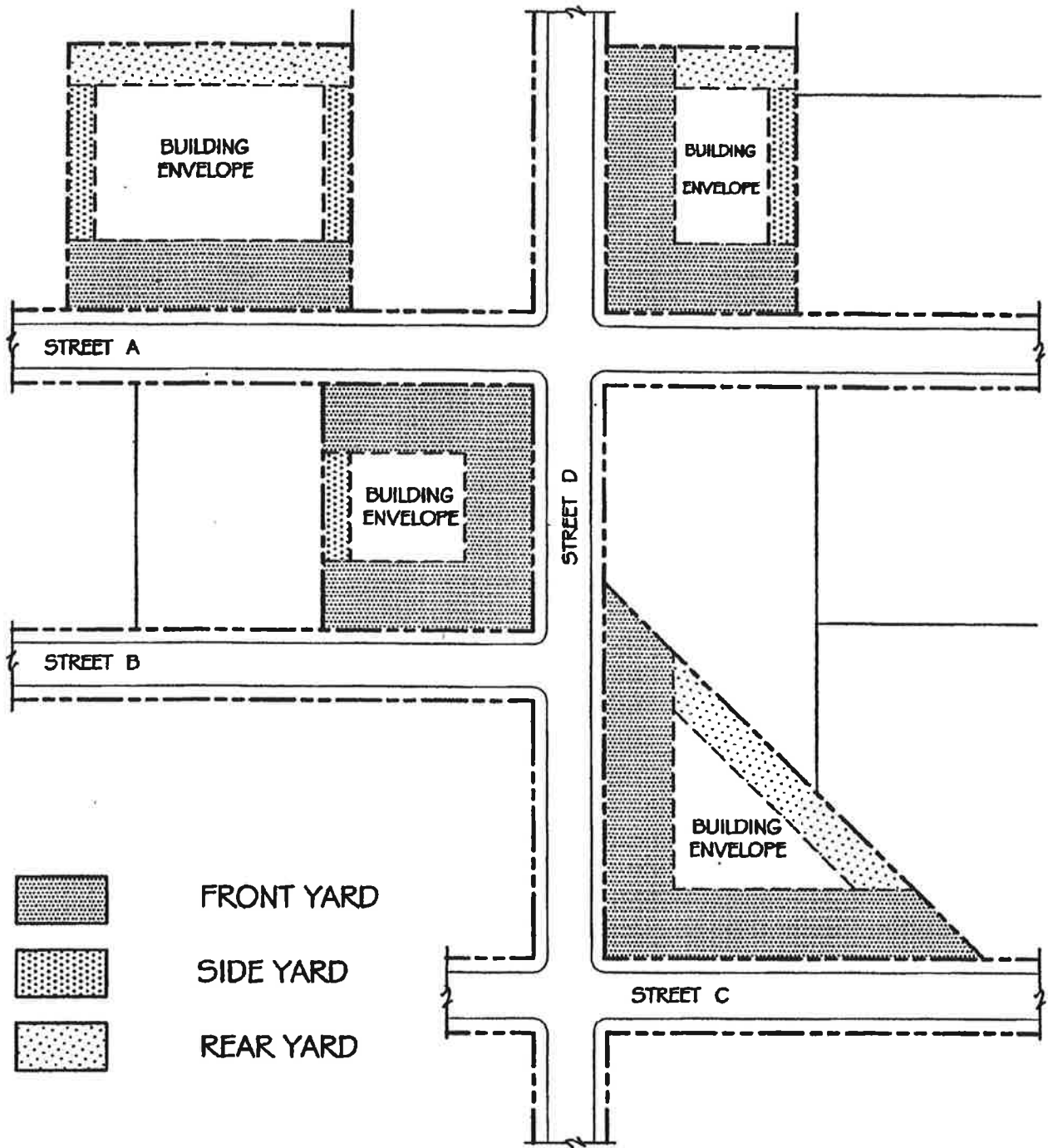
Sheet No.

2 of 4

Drawing No.

1026.B.E.1

# YARD DEFINITION AND BUILDING ENVELOPE



Drawing Name

FIGURE 3

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Project Name

WOODCLIFF LAKE MASTER  
PLAN

Drawing Scale

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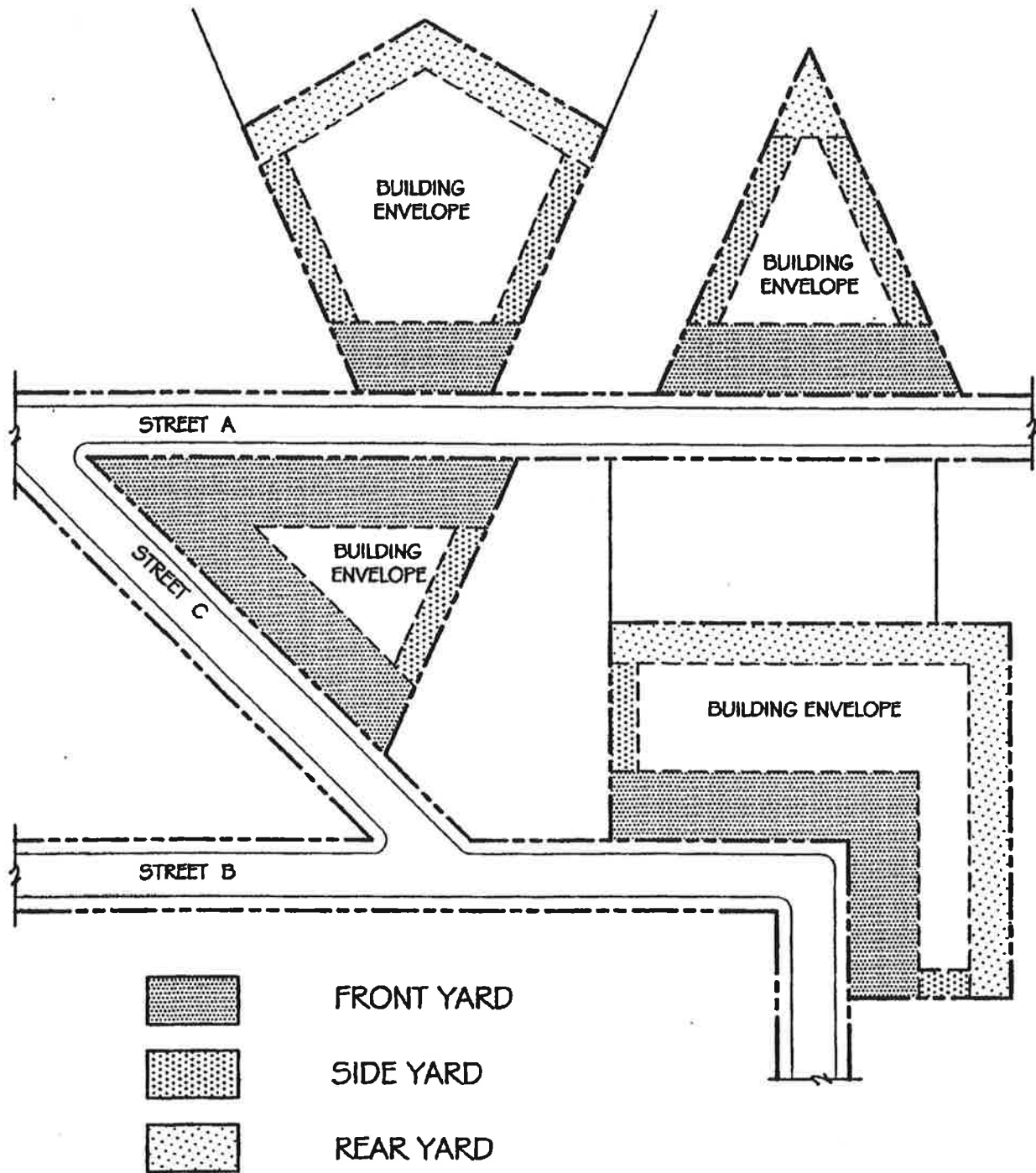
Sheet No.

3 of 4

Drawing No.

1026.B.E.1

# YARD DEFINITION AND BUILDING ENVELOPE



Drawing Name

FIGURE 4

Project No.

1026.01

Drawing Date

07/08/02

Drawn by

ABB



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201-866-1811 FAX: 201-866-2599

Project Name

WOODCLIFF LAKE MASTER  
PLAN

Drawing Scale

N.T.S.

Sheet No.

4 of 4

Drawing No.

1026.B.E.I

## **PERMITTED USES IN THE B-1, B-2 and B-3 DISTRICTS**

The current Woodcliff Lake Zoning Ordinance permits identical uses for all three business districts, although the developed character of each district is distinct. The existing ordinance permits the following uses:

1. Business uses of a strictly retail sales or service type, conducted entirely within the confines of a building and involving the sale of goods or rendering of services directly to the ultimate consumer and limited to the following:
  - a. Stores for the retail sale and display of goods and products, provided that the area devoted to storage of said goods and products does not exceed the area devoted to sales and display, except that area devoted to storage of farm products may exceed the area devoted to sales and display of farm products.
  - b. Shops for personal service and repairs, such as beauty and barber shops, shoe repair, appliance repair, locksmiths, photographers, laundry and dry cleaning establishments (excluding those which use equipment for laundry or dry cleaning processing on premises).
  - c. Business, professional and executive offices and personal business service establishments such as travel agencies and real estate offices.
  - d. Banks and similar financial institutions.
  - e. Nursery schools and day care centers.
2. Business use for the wholesale storage and sale of farm products conducted entirely within the confines of a building.

The recommended uses for each district are as follows:

B-1 District. Retail trade and service establishment excluding auto and truck sales and rental; restaurant (excluding drive-through facilities); office, bank, multifamily dwellings above a ground level commercial or business use.

B-2 District. Office, bank, nursing home

B-3 District. Neighborhood shopping center providing convenience shopping for day to day needs of consumers, retail sales and office. There shall be no big box retail.

## **BUILDING HEIGHT**

The existing definition is as follows:

“Building height, residential and nonresidential – The vertical distance from the average natural grade of the lot adjacent to the perimeter of the building to the highest point of the building. Natural grade of a lot shall be determined by averaging natural grade adjacent to the perimeter of the building at points 10 feet apart starting at the lowest elevation. Chimneys shall not be considered the highest point of a building unless they extend greater than four feet higher than the highest point of a building, in which event they shall be considered the highest point of a building.

The ordinance also contains definitions of average natural grade, natural grade and finished grade.

A proposed new definition is as follows:

**BUILDING HEIGHT** – The vertical distance measured from the lowest finished grade, immediately adjacent to the building wall or from the average natural grade, to the highest point of the roof of any building, excluding chimneys, mechanical equipment (including but not limited to elevator housings) and parapet walls not exceeding four feet in height, whichever is greater.

The borough should explore increasing the allowable building height from average natural grade to 35 feet in appropriate zones.

It is noted that there is conflicting information between the text for residential zone districts and the height given in the zoning schedule. For example, in the R-30 District, the text reads: “No building exceeding 2 ½ stories shall be erected on any lot, and in no event shall the height of any building exceed 35 feet, and in no event shall the vertical distance of any side of a building from the lowest finished grade adjacent to the perimeter to the highest point exceed 37 feet from the finished grade.

In contrast, the building height listed in the zoning schedule for the R-30 district is 2 1/2 stories/30 feet.

## ESTMATED POPULATION INCREASE AT 10 YEAR AND FULL BUILD OUT

The existing land use survey conducted for the master plan update included the identification of vacant land in the borough. It also includes the identification of approved developments. Based on the approved developments, and the estimated vacant property which could be developed with residential use in the future, a projection of the population increase resulting from these developments has been prepared. The following is a summary of approved subdivisions which have not yet been completed, but are anticipated to be completed in the next 10 years.

### Estimated Population Increase at 10 Year Build-Out

Approved Subdivision Name	Number of Lots	Estimated Population
Mulholland	28	102
Bliss Estates	6	22
Redco/Winding Way	6	22
Metropolitan Homes	6	22
Pearson	8	29
<b>Estimated Increase at 10 Year Build Out</b>	<b>54</b>	<b>197</b>

The following additional residential development is anticipated at full buildout:

### Estimated Population Increase at Full Build-Out

Name	Units/Lots	Estimated Population
Age Restricted Overlay	47 units	85
Other Vacant, Residentially Zoned Parcels	9 properties	47
Broadway Overlay	20	20
Rosengren Estates	5	18
Folding	6	22
Subtotal	87	192
Add from 10 Year Build Out	54	197
<b>Total Increase at Full Build Out</b>	<b>141</b>	<b>389</b>